



PLANNING COMMISSION STAFF REPORT

DATE: OCTOBER 23, 2019

PUBLIC HEARING

SUBJECT: PONO ACQUISITION PARTNERS, LLC, (DBA: PALM SPRINGS SURF CLUB) FOR AN AMENDMENT TO AN APPROVED PLANNED DEVELOPMENT DISTRICT (PD163) FOR THE REHABILITATION OF AN EXISTING WATER PARK TO INCLUDE A NEW SURF POOL AND ANCILLARY USES WITH A RESTAURANT/LOUNGE, FITNESS AND SPA FACILITY, PLUS NET INCREASE OF 7,746-SQUARE FEET OF NEW STRUCTURES LOCATED AT 1500 SOUTH GENE AUTRY TRAIL, ZONE M-1 (PD 168), SECTION 9. (CASE 5.0356 CUP).

FROM: Department of Planning Services

SUMMARY

This a request of the Planning Commission for an amendment to a previously approved Planned Development District for the rehabilitation of an existing water park to include a new surf wave pool, a restaurant/lounge, fitness and spa facility, plus a net increase of 7,746-square feet of new structures located at 1500 South Gene Autry Trail. The rehabilitated water park to be called the Palm Springs Surf Club.

RECOMMENDATION:

Approve, subject to Conditions of Approval with the landscape plan and building material including paint colors will be reviewed by the Architectural Advisory Committee.

BUSINESS PRINCIPAL DISCLOSURE

The applicant has filed a Public Integrity Disclosure form stating that Pono Acquisition Partners, LLC is a California Limited Liability Company with the following persons having an equal share in the business: James Dunlop, CEO; Kalani Robb, President; Matt Belden, COO/CFO. The signed Public Integrity Disclosure form is attached.

BACKGROUND INFORMATION:

Related Relevant City Actions by Planning, Fire, Building, etc...	
4/10/1985	Planning Commission approved Resolution #3739 granting approval of a Planned Development District Case 5.0356 PD 182 for the construction of a water park.
5/1/1985	City Council approved Resolution #15502 granting approval of preliminary Planned Development District Case 5.0356 PD 182 for the construction of a water park.
03/19/1986	City Council approved Resolution #15811 granting approval of Final Planned Development District Case 5.0356 PD 182 for the construction of a water park.
10/3/2019	Planning Staff conducted an outreach meeting with representatives from Melody Ranch, and Tahquitz Creek Golf neighborhoods with a presentation from the applicant.
Most Recent Ownership	
1/15/2019	Pono Acquisition Partners, LLC

Notification	
10/3/2019	Staff conducted a community outreach meeting with representatives from Melody Ranch and Tahquitz Creek Golf
10/17/2019	Email notification sent to the following: Demuth Park, Melody Ranch, Tahquitz Creek Golf, Lawrence Crossly Neighborhood Organizations.

Field Check	
10/2019	Staff visited site to observe existing conditions

Details of Application Request	
Site and Building Area	
Overall Site	21.51 Acres

General Plan, Zoning and Land Uses of Site & Surrounding Areas			
	Existing General Plan Designations	Existing Zoning Designation	Existing Land Use
Site	TRC (Tourist Resort Commercial)	M-1 (Light Industrial)	Water Park
North	IND (Industrial)	CBD (Central Business District)	Desert Water Agency/ Mini storage
South	P/U (Public/Quasi Public)	M-1 (Light Industrial) / O5 (Open Space)	Open Space/ Golf Course
East	OSP (Open Space)	M-1 (Light Industrial)	Open Space/ Golf Course
West	IND (Industrial)	M-1 (Light Industrial)	Industrial Park

Building Summary

	Existing	Additional	To Be Removed	New Change
Building A Restrooms and pumps for slides	1,259 sq ft	-	-	-
Building B Restrooms/ Snack Bar	1,647 sq ft	571 sq ft	1,647 sq ft	-1,076 sq ft
Building C Pump Building	474 sq ft	-	474 sq ft	-474 sq ft
Building D Restrooms/ Snack Bar	1,462 sq ft 212 sq ft		212 sq ft	-212 sq ft
Building E Offices/Kitchen/Retail/Lockers/ Main Entrance	17,902 sq ft	7,311 sq ft	-	7,311 sq ft
Building F Pump Building	461 sq ft	-	461 sq ft	-461 sq ft
Building G Pump Building/ Phase Pump Wings	6,098 sq ft	2,658 sq ft	-	2,658 sq ft
Existing Buildings	29,515 sq ft	10,540 sq ft	2,794 sq ft	7,746 sq ft
TOTAL				37,261 sq ft

DEVELOPMENT STANDARDS:

Development Standards for the M-1 Zone pursuant to Section 92.17.03 of the PSZC as follows:

	M-1	Proposed Project	Comply
Lot Area	40,000-sq ft	21.51 acres	Yes
Lot Width	200 feet	600 feet	Yes
Lot Depth	200 feet	700 feet	Yes
Front Yard	25 feet	85 feet	Yes
Side Yard	No setback	30 feet	Yes
Rear Yard	No setback	15 feet along golf course	Yes
Building Height (max.)	40' feet	21'-7" feet to top of entrance gable	Yes
Bldg. Coverage	60%	4%	Yes
Off-street parking	1 space per 3 attendees of 1,300 = 433 spaces Staff = 140 spaces Restaurant = 99 spaces Total = 672 spaces	761 spaces provided 16 ADA spaces Total = 777 spaces Excess = 105 spaces	Yes
Landscaping	No specific requirements	Landscape plan provided	Yes

PROJECT DESCRIPTION:

Proposed Project:

The proposed project is for the rehabilitation of the existing water park originally built in 1986 as Oasis Water park and most recently operated as Wet n Wild. The new owners are seeking to amend an existing Planned Development District (PD 168) in accordance with Section 94.03.00 of the Palm Springs Zoning Code (PSZC) which provides guidance when modifying an existing PD. A PD can be referred to the Planning Commission by the Planning Director for projects that propose minor modifications to building footprints provided conformance is maintained to perimeter setback requirements. In addition, the configuration of parking areas must be maintained as well as landscape buffers. The proposed revitalization of the site conforms to these requirements.

The water park is located within an industrial area with a mini warehouse to the north, the City sewer plant to the west, and City golf course to the south. The nearest residential neighborhood is 915 feet away to the south across the golf course and wash area.

The surf pool will cater to a wide range of surfing skill levels from pro/expert to beginner. The existing wave pool will be rehabilitated and enlarged to provide opportunities for expert surfers to ride waves along with intermediate and beginners. The location of the surf pool will be in the same location as the previous wave pool with an increase to the pump house which produces the large waves.

The water park also provides other attractions for non-surfing visitors and will include water slides, lazy river, pool areas, family area and food/beverage options. This area will be in a similar location as the previous slides and lazy river area, however new pools are being added along with a children's area. The tall red slide and funnel ride are being removed.

The renovation project of the main entrance building includes a new restaurant, bar, outdoor patio areas, commercial kitchen, ticket area, and restrooms. A second entrance is set aside for pro-surfer check-in to include a warmup gym, spa and retail area for selling and renting surf gear.

Detailed Description:

In order to accurately describe the proposed alterations to the 21-acre site a detailed break-down of the proposed changes has been divided into twelve (12) areas. The following describes the changes and is associated with plan A-02 in your packet:

Area 1:

Expand and update the surf pool to include new pump house and pump wings. Add new VIP cabanas along the south perimeter of pool. Add new lighting and sound system around entire pool area.

Area 2:

New building to include bar and grill with outdoor seating plus restrooms.

Area 3:

Renovation of lazy river area to include the removal of Building B and the addition of a new structure for restrooms and outdoor bar. New lazy river and pool to be constructed.

Area 4:

Renovation of main entry building. Includes restaurant expansion, commercial kitchen and back of house operations. Area also includes a gym, spa, surfboard shop, and media rooms.

Area 5:

Children's play area to include a children's splash pool, snack bar and water fall feature.

Area 6:

New fire service access drive and proposed thirty (30') foot wide fire lane along the west property line.

Area 7:

Funnel ride to be removed along with support building. Tower associated with ride to remain and repurposed as a lifeguard station.

Area 8:

Existing red slide to be removed with tower to remain.

Area 9:

Existing yellow slide to be removed with tower to remain.

Area 10:

Kahuana's Beach House children's play area to be removed. New surf pool to be constructed.

Area 11:

Flow Rider to be removed. Construction of new VIP cabanas and food/beverage support building.

Area 12:

Construction of new pump house utility building.

Building Architecture and Landscaping:

The proposal includes the addition of 10,540-square feet of new space with the demolition of 2,794-square feet of buildings resulting in a net increase of 7,746 square feet. The rehabilitation of the main entrance building which is the largest public structure in the park

will not be substantially altered in overall height or major changes to the exterior. The roofs on the gable portions will be renovated and a larger extended roof will be added over the expanded restaurant outdoor seating area. These new seating areas will provide an unobstructed view of the surfing pool for restaurant and bar patrons.

The building heights will not change from existing conditions. Several attractions from the Wet n Wild park are being removed such as the Funnel ride and tall yellow slide.

The main surf pool pump house located at the western end of the main pool will be renovated with the addition of two new structures on both sides. These new buildings will house state of the art pumps that in unison with other pumps generate the surf waves. The existing pump house sits partially underground and has a height of 20'-6" above grade and the new pump wings will have a height of 16' feet.

The rehabilitation of the park includes the reinvigoration of the desert landscaping. The site contains a large amount of hard surface area for pool decks and walkways with vegetation to be placed in planter beds where possible. The existing hill at the north-west side of the park will remain and enhanced with new plantings. The entry drive will be planted with Date Palms evenly spaced with understory grasses, shrubs, and succulents to provide a sense of arrival. The parking lot islands will be re-planted with Tipu trees to provide shade. The interior of the park will utilize existing mature palm trees enhanced with new plantings and the site includes many areas shaded by sails, trellis, cabanas, and roof overhangs. Staff recommends that the Architectural Advisory Committee review a final landscape plan.

Lighting and Sound:

The renovated surf park site will be used all year with hours of operation from early morning until 10:00 PM for water features such as the surf pool and late night for the restaurant/bar operation. This will result in the need for community friendly outdoor sports lighting. The applicant is working with a lighting consultant to devise a plan that allows the park to utilize eight (8) poles with heights ranging from 60' to 73' feet tall. The state-of-the-art LED lighting will be focused downward and according to submitted photometric plans, light will not spill onto adjacent residential areas. The height of the poles in comparison to nearby public parks and ball fields at Demuth, and Sunrise park are taller with heights ranging from eight (80') to ninety (90') feet tall. Additional lights placed throughout the park will be low level accents to illuminate landscaping and walkways.

The applicant has hired a noise consultant and conducted a study of potential impacts. The consultant used the limits set by the City Noise Ordinance relative to an industrial land use and conducted an on-site inspection and took noise readings to establish an ambient starting point. They then used modeling methods taking into consideration the noise generated by the wave mechanical equipment to include blowers, and air discharge based upon the manufacture's recommendations. From this analysis it was determined that the mechanical systems would not exceed the City's noise regulations at the property line.

The applicant proposes to place speakers throughout the water park to include small round speakers placed in trees and ground mounted to provide background music. In addition, larger speakers are proposed attached to the pump house to provide sound around and within the surf pool. Staff notes that the noise consultant did not evaluate music generated from speakers. The Planning Commission has experience with outdoor music venues and Staff has included conditions of approval relative to this type of land use.

Neighborhood Outreach:

The applicant has met with representatives of the Melody Ranch and Tahquitz Creek Golf neighborhood organizations and reviewed the plans and provided comments. The meeting was held at City Hall and comments made included if the public would be allowed to use the restaurant/lounge; will there be activities for seniors; use of the gym; and will the new surf park be a draw for the local community.

REQUIRED FINDINGS:

Amendment to a Planned Development

Pursuant to Section 94.03.00(E)(1-7) of the Palm Springs Zoning Code, the Planning Commission is required to make the following findings to approve an amendment to a Planned Development.

1. *The uses, density, and intensity of the proposed amendment to the Planned Development Plan are in conformance to the General Plan land use designation for the site.*

The land use designation for the site is Tourist-Resort-Commercial (TRC) which provides for large-scale entertainment/fitness/spa uses serving a resort clientele. Commercial recreation and entertainment facilities such as water parks are included in this designation. The proposed amendment will be consistent with the previously approved Planned Development providing water attractions, off-street parking, food/beverage service, and fitness/spa activities and will not intensify the use and the finding has been met.

2. *The use permitted under the amended development plan are in conformance to the requirements listed in Section 94.03.00(D)(1) and are not detrimental to adjacent properties or residents.*

The proposed renovation of an existing water park which is located within the TRC General Plan Land Use designation is in conformance with the uses permitted under minimum development standards. In addition, the site is located adjacent to a City owned golf course and other industrial development uses and will not adversely affect residential developments located more than 900 feet away. The renovation of the

water park will result in the removal of several tall slides and features thus reducing the overall visual impact of the site. The applicant has provided noise and lighting studies to evaluate potential impacts to surrounding communities and based upon these reports the finding can be met.

- 3. The amended Planned Development is in conformance to the property development standards listed in Section 94.03.00(D)(2).*

The subject site built in 1986 meets the development standards relative to the M-1 zone of the PSZC. The amended plan will conform to building height, parking requirements, setbacks, lot width, development form, open space requirements, perimeter landscape buffer, and pedestrian and bicycle access. The proposed development plan is within the original 21-acre footprint with modifications to the water features such as a new surf pool, and other ancillary uses including a restaurant, fitness center, and spa. Based upon the amended development being consistent with the original development standards the finding can be met.

- 4. The site is adequate in size and shape to accommodate the density and/or intensity of the proposed development.*

Attendance at the water park could peak at 1,300 visitors located within the 21-acre park. The existing site provides 777 off-street free parking spaces which is a surplus of 100 spaces based upon proposed uses. The internal circulation within the water park will be designed to provide safety and comfort to all visitors and the finding has been met.

- 5. The site for the proposed amendment to the Planned Development has adequate access to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use, and the design for the site enhances or continues the City's existing grid in accordance with the Circulation Plan of the City of Palm Springs General Plan.*

Access to the site is via State Highway 111 – South Gene Autry Trail which is designated as a Major Thoroughfare and is a four-lane street with appropriate turning lanes providing access to the site. The project proposes the widening of an existing street on the western perimeter to provide greater fire lane access. The addition of a new fire lane plus access from the main park entrance will enhance the overall safety for the athletes and patrons of the site and the finding has been met.

- 6. The public benefit provided by the development is mitigates any waivers or exceptions requested as part of the development plan.*

No public benefit is proposed or required as part of this amendment to the original Planned Development.

7. That the conditions to be imposed and shown on the amended plan are necessary to protect the public health, safety, and general welfare.

A set of Conditions of Approval are part of this amendment that will address possible issues such as noise and lighting along with referencing an approved site plan and building elevations. Based upon this determination the finding has been met.

CONCLUSION:

The proposed amendment to a previously approved Planned Development District will rehabilitate an existing water park within the original 21-acre complex. Changes to the site requiring new building construction are minimal with most work associated with pools and landscaping. Section 94.03.00(G) of the PSZC provides specific guidelines and findings when amending a PD which can be met. Staff is recommending approval of the amendment along with a set of conditions to include a review by the Architectural Advisory Committee of the material board for buildings and the landscape plan.

ENVIRONMENTAL:

This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of Title 14, Chapter 3 of the California Code of Regulations (Class 1, Existing Facilities exemption).

NOTIFICATION:

A public hearing notice was published in the local newspaper and mailed to all property owners and registered occupants within a 500-foot radius of the subject property. As of the writing of this report, staff has received correspondence from the public, see attachments.



Glenn Mlaker, AICP
Associate Planner



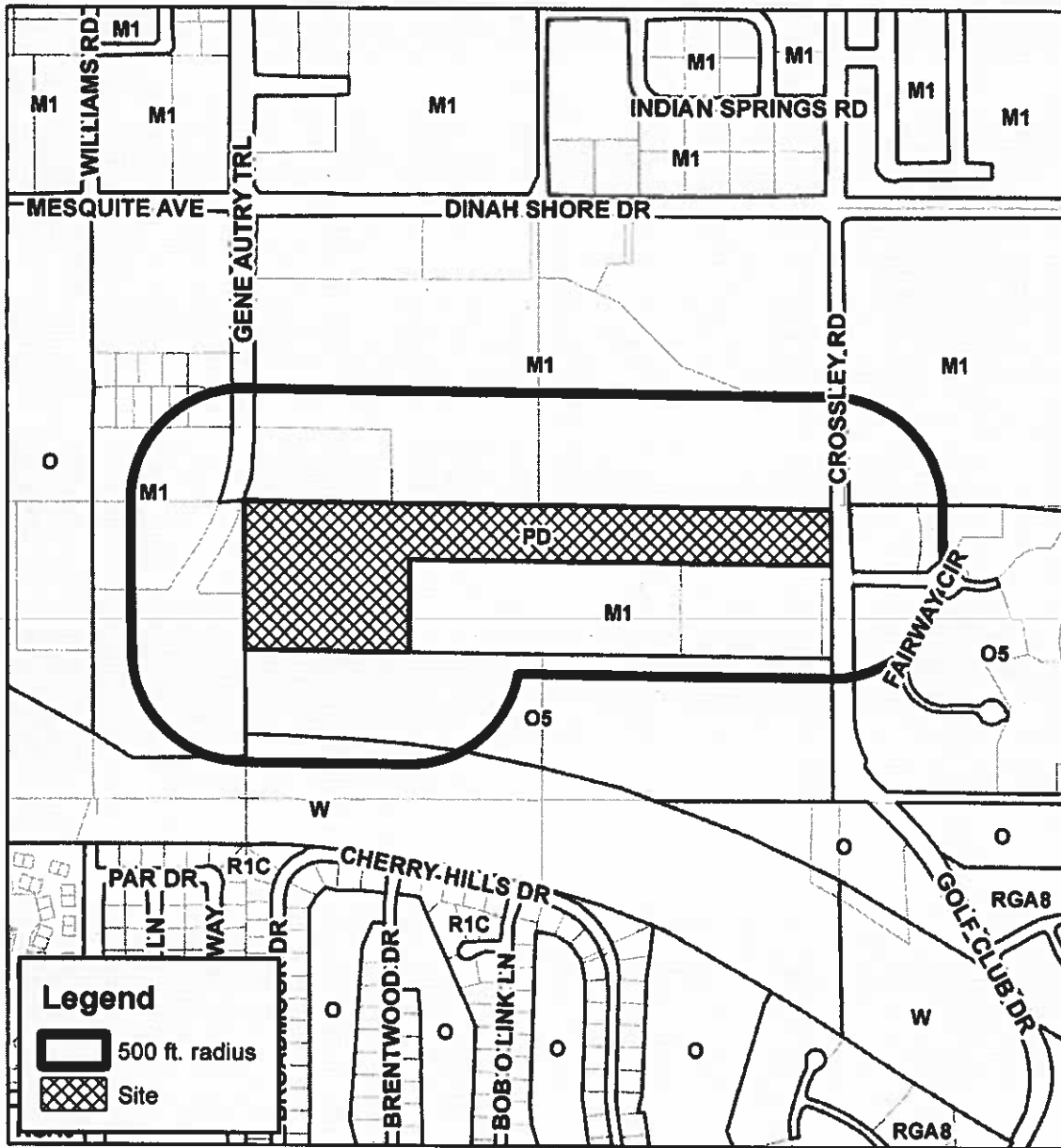
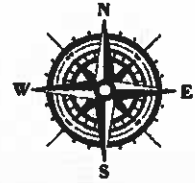
Finn Fagg, AICP
Director of Planning Services

Attachments:

1. Vicinity map
2. Draft Resolution
3. Conditions of Approval
4. Justification Letter for a Conditional Use Permit (CUP)
5. Corporation Ownership
6. Original Approval Resolutions for PD 168
7. Correspondence
8. Noise Study
9. Site Photos



Department of Planning Services Vicinity Map



Legend

- 500 ft. radius
- Site

CITY OF PALM SPRINGS
Palm Springs Surf Club
1500 South Gene Autry Trail
Case 5.0356 AMND

10. Lighting Study
11. Exhibit Package
 - Site Plans
 - Landscape Plan
 - Building Elevations
 - 3D Images
 - Audio Concept
 - Lighting Concept
12. Full Size Plans as Follows:
 - a. Site Plans
 - b. Floor Plans and Building Elevations
 - c. Landscape Plans

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 5.0356 PD 168, AN AMENDMENT TO AN APPROVED PLANNED DEVELOPMENT DISTRICT FOR THE REHABILITATION OF AN EXISTING WATER PARK TO INCLUDE A NEW SURF POOL AND ANCILLARY USES WITH A RESTAURANT/LOUNGE, FITNESS AND SPA FACILITY, PLUS NET INCREASE OF 7,746-SQUARE FEET OF NEW STRUCTURE LOCATED AT 1500 SOUTH GENE AUTRY TRAIL, ZONE M-1 (PD 168), SECTION 9.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

- A. Pono Acquisition Partners, LLC, dba: The Palm Springs Surf Club (“Applicant”) has filed an amendment to an approved Planned Development District with the City pursuant to Section 94.03.00(G) of the Zoning Code to allow for the renovation of an existing water park located at 1500 South Gene Autry Trail, Section 20, APN# 680-180-029.
- B. The renovation of the existing water park to expand the wave pool, raze several buildings and water attractions plus add 7,746-square feet of new building is permitted in the M-1 (Light Industrial) Zone with the approval of an amendment to the original PD 168 pursuant to Section 94.03.00(G) of the Zoning Code.
- C. On October 3, 2019, Staff and the applicant conducted an outreach meeting with representatives from the Melody Ranch and Tahquitz Creek Golf neighborhoods to discuss the proposed project which was met with support.
- D. Notice of public hearing of the Planning Commission of the City of Palm Springs to consider Case No. 5.0356 PD 168, an amendment to an approved Planned Development District, was given in accordance with applicable law.
- D. On October 23, 2019, a public hearing on the application was held by the Planning Commission in accordance with applicable law.
- E. The proposed project is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be Categorically Exempt as a Class I exemption (Existing Facilities) pursuant to Section 15301 of the CEQA Guidelines; and
- F. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

G. In accordance with Section 94.03.00(E) (1-7) of the Zoning Code relative to an Amendment to a Planned Development District, the Planning Commission finds as follows:

1. *The uses, density, and intensity of the proposed amendment to the Planned Development Plan are in conformance to the General Plan land use designation for the site.*

The land use designation for the site is Tourist-Resort-Commercial (TRC) which provides for large-scale entertainment/fitness/spa uses serving a resort clientele. Commercial recreation and entertainment facilities such as water parks are included in this designation. The proposed amendment will be consistent with the previously approved Planned Development providing water attractions, off-street parking, food/beverage service, and fitness/spa activities and will not intensify the use and the finding has been met.

2. *The use permitted under the amended development plan are in conformance to the requirements listed in Section 94.03.00(D)(1) and are not detrimental to adjacent properties or residents.*

The proposed renovation of an existing water park which is located within the TRC General Plan Land Use designation is in conformance with the uses permitted under minimum development standards. In addition, the site is located adjacent to a City owned golf course and other industrial development uses and will not adversely affect residential developments located more than 900 feet away. The renovation of the water park will result in the removal of several tall slides and features thus reducing the overall visual impact of the site. The applicant has provided noise and lighting studies to evaluate potential impacts to surrounding communities and based upon these reports the finding can be met.

3. *The amended Planned Development is in conformance to the property development standards listed in Section 94.03.00(D)(2).*

The subject site built in 1986 meets the development standards relative to the M-1 zone of the PSZC. The amended plan will conform to building height, parking requirements, setbacks, lot width, development form, open space requirements, perimeter landscape buffer, and pedestrian and bicycle access. The proposed development plan is within the original 21-acre footprint with modifications to the water features such as a new surf pool, and other ancillary uses including a restaurant, fitness center, and spa. Based upon the amended development being consistent with the original development standards the finding can be met.

4. *The site is adequate in size and shape to accommodate the density and/or intensity of the proposed development.*

Attendance at the water park could peak at 1,300 visitors located within the 21-acre

park. The existing site provides 777 off-street free parking spaces which is a surplus of 100 spaces based upon proposed uses. The internal circulation within the water park will be designed to provide safety and comfort to all visitors and the finding has been met.

5. *The site for the proposed amendment to the Planned Development has adequate access to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use, and the design for the site enhances or continues the City's existing grid in accordance with e Circulation Plan of the City of Palm Springs General Plan.*

Access to the site is via State Highway 111 – South Gene Autry Trail which is designated as a Major Thoroughfare and is a four-lane street with appropriate turning lanes providing access to the site. The project proposes the widening of an existing street on the western perimeter to provide greater fire lane access. The addition of a new fire lane plus access from the main park entrance will enhance the overall safety for the athletes and patrons of the site and the finding has been met.

6. The public benefit provided by the development is mitigates any waivers or exceptions requested as part of the development plan.

No public benefit is proposed or required as part of this amendment to the original Planned Development.

7. That the conditions to be imposed and shown on the amended plan are necessary to protect the public health, safety, and general welfare.

A set of Conditions of Approval are part of this amendment that will address possible issues such as noise and lighting along with referencing an approved site plan and building elevations. Based upon this determination the finding has been met.

THE PLANNING COMMISSION RESOLVES:

That the findings and determinations reflected above are true and correct and are incorporated by this reference herein as the cause and foundation for the action taken by and through this Resolution. Based upon the foregoing, the Planning Commission hereby approves Case No. 5.0356 PD 168, an amendment to an approved Planned Development District for the renovation of an existing water park to include new construction with a net increase of 7,746-square feet at the Palm Springs Surf Club located at 1500 South Gene Autry Trail, subject to the conditions set forth in the attached Exhibit A.

ADOPTED this 23rd day of October 2019.

AYES:
NOES:

ABSENT:
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Flinn Fagg, AICP
Director of Planning Services

RESOLUTION NO.

EXHIBIT A

Case 5.0356 PD 168 AMND
Palm Springs Surf Club
1500 South Gene Autry Trail

October 23, 2019

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 5.0356 PD 168; for an amendment to a Planned Development District.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped September 19, 2019, including site plans, architectural elevations, exterior materials and colors, landscaping on file in the Planning Division.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 5.0356 PD 168. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against

the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

ADM 7. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ENVIRONMENTAL ASSESSMENT CONDITIONS

ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) not required. The site is a previously improved and developed site and is therefore exempt from payment of the CVMSHCP LDMF.

ENV 2. California Fish & Game Fees Required. The project is required to pay a fish and game impact fee as defined in Section 711.4 of the California Fish and Game Code. This CFG impact fee plus an administrative fee for filing the action with the County Recorder shall be submitted by the applicant to the City in the form of a money order or a cashier's check payable to the Riverside County Clerk prior to the final City action on the project (either Planning Commission or City Council determination). This fee shall be submitted by the City to the County Clerk with the Notice of Determination. Action on this application shall not be final until such fee is paid. The project may be eligible for exemption or refund of this fee by the California

Department of Fish & Game. Applicants may apply for a refund by the CFG at www.dfg.ca.gov for more information.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Events. Special events to take place beyond the normal operations are permitted within the parameters of these Conditions of Approval.
- PLN 2. Hours of Operation. Hours shall be limited between 6:00 AM and 10:00 PM, seven (7) days a week for operation of the surf wave pool. The remaining park attractions including the restaurant and lounge may operate until 2:00 AM. Any deviation from these hours shall require an amendment to the PD. These hours also pertain to event set-up and tear down.
- PLN 3. Event Breakdown: Event breakdown (or teardown) shall be limited to Monday through Friday between the hours of 8:00 am and 5:00 pm.
- PLN 4. Parking. Operator shall always maintain a total of 777 off-street parking spaces for visitors and employees.
- PLN 5. Street Parking. There shall be no event-related street parking permitted along South Gene Autry Trail or along the designated fire lane on the western perimeter of the property.
- PLN 6. Planning Commission Review: The Planning Commission shall review the operation at a public meeting within six (6) months from the opening date of the water park.
- PLN 7. Noise Level Limits. There shall not be any exemptions from the PSMC Chapter 11.74 ("Noise Ordinance"). Operator must meet the set noise levels at all times.
- PLN 8. Noise Attenuation Measures.
- a. The applicant shall be required to have on site a noise monitoring system (RION NL-42 or similar) capable of monitoring sound levels at the property lines. The noise monitoring shall provide the following minimum specifications:
 - The system shall be capable of monitoring noise.
 - The system shall be capable of logging data to internal or external memory for reporting purposes;
 - The sound level meter shall satisfy the American National Standards Institute (ANSI) standard specifications for sound level meters ANSI S1.4-2014/IEC 61672-1:2013;
 - The sound level meter shall be calibrated at the manufacturer's recommended regular interval;

- In the event of a noise complaint, the Operator shall provide noise level measurement data to the City of Palm Springs for the event during which the complaint was made. The data shall be provided to the City by the Applicant immediately for review at the City's discretion.
- b. In addition to the noise-monitoring described above, a sound level limiter shall be installed as a part of the music/sound system to actively enforce the noise level limits when the music/sound system is in use. The sound level limiter must demonstrate the ability to limit the Project operational noise levels at the source result in satisfactory noise levels below the limits in the City's noise ordinance. The limiters associated with the sound system shall be preset and the DJ or operator of the sound system shall not have the ability to override or bypass such limiters.
 - d. The speakers for the sound system shall be oriented inward and downward on the site so as to minimize sound impacts on adjacent properties.
- PLN 9. Lighting. Lighting of the wave pool shall meet approved illumination levels as shown on photometric plan. Large pole lights shall be turned off when wave pool is not in operation (i.e.. after 10 PM).
- PLN 10. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 11. Inspections. The Palm Springs Police Department (PSPD) may conduct site inspections at any time during an event. The operator shall work closely with PSPD to amicably resolve any noise, lighting, or other nuisance complaint received during an event.
- PLN 12. Bicycle Parking. The project shall be required to provide secure bicycle parking facilities on site for use by guests and employees. Location and design shall be approved by the Director of Planning.

Condition imposed by the Planning Commission:

- PLN 13. Add conditions

POLICE DEPARTMENT CONDITIONS

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

BUILDING DEPARTMENT CONDITIONS

General Conditions

BLDG 1. 1. Shall comply with the latest adopted edition of the following codes as applicable:

- A. California Building Code
- B. California Electrical Code
- C. California Mechanical Code
- D. California Plumbing Code
- E. California Energy Code
- F. California Fire Code
- G. California Green Building Standards Code

BLDG 2. Automatic fire suppression systems shall be installed in all new construction per Article VI of Chapter 8.04 of the Code of the City of Palm Springs. Design and type of system shall be based upon the requirements of the Building and Fire Codes and the requirements of the Palm Springs Fire Department.

BLDG 3. The requirements of the Air Quality Management District shall be satisfied prior to the issuance of any permit if dusts and/or pollutants will be discharged into the atmosphere.

BLDG 4. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.

BLDG 5. All perimeter/boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.

BLDG 6. All signs shall be Underwriters Laboratories approved, or equal.

BLDG 7. Permits are required prior to the removal and/or demolition of structures.

BLDG 8. In addition to approval from Building & Safety, approval is required from the County of Riverside, Department of Public Health for public swimming pools and spas and for occupancies involving foods and beverages.

BLDG 9. All exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

BLDG 10. The following items (as applicable) shall be completed and/or submitted to Building & Safety prior to the issuance of building permits for this project:

- A. Precise grading plans shall be approved through the Engineering Dept.
- B. Rough grading completed
- C. Compaction certification
- D. Pad elevation certification
- E. Rough grade inspection signed off by a City Public Works/Engineering Inspector

BLDG 11. If hazardous substances are used and/or stored, a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials, may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted to Building & Safety. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) inter-mixing in the event of an accident or spill.

Specific Comments (NOTE: THESE COMMENTS ARE NOT CONDITIONS!):

BLDG 12. Please be aware of the following:

- a. A Construction Waste Management Plan (CWMP) will be required at time of plan check submittal.
- b. Any plans submitted after 01/01/2020 will be required to comply with the 2019 CA Codes.
- c. Plans will be required to include an allowable area analysis and other code data.
- d. The site and structures will be required to comply with disabled access requirements as applicable.

BLDG 13. For more information related to Building & Safety, please visit our web page at <http://www.palmspringsca.gov/government/departments/building>.

FIRE CONDITIONS

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2016 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "O" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system & fire alarm must be submitted prior to a building permit being released.

FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council. Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than

24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 7. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

FID 8. **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

FID 9. **NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance.

FID 10. **Fire Alarm System Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in

accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.

- FID 11. **Turning Radius:** The required turning radius of a fire apparatus access road shall be a minimum inner radius 25 feet and an out radius of 43 feet.
- FID 12. **Fire Lanes:** Fire lanes shall be 26' in width. If parallel parking is being requested, meet with Engineering and determine the width required for such and adjust (increase) fire lane width to accommodate
- FID 13. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

ENGINEERING

- ENG 1. Provide as-built drawings of existing water park drainage improvements. Please identify the existing outlets, drainage structures, provide the necessary information to show where drainage is directed. Provide necessary plans and studies to show how new drainage facilities will convey storm water and water generated on-site due to backwashing and general operations of the park.
- ENG 2. Provide as-built drawings of the existing roadway (emergency fire lane) along the westerly frontage of the property. Plans shall be provided showing the existing roadway, easement boundaries and provide appropriate street improvement plans extending the roadway to the southerly boundary of the property, complete with curb, gutter and driveway approaches per City Standards.

END OF CONDITIONS

RECEIVED

OCT 16 2019

PLANNING SERVICES
DEPARTMENT



Palm Springs
CHAMBER OF COMMERCE

Dear Palm Springs Planning Commission,

The Palm Springs Chamber of Commerce is committed to supporting businesses that grow our local economy and provide employment opportunities for our residents. We are very supportive of the exciting plans Palm Springs Surf Club has for the Wet n Wild water park. With features like a state-of-the-art wave pool with high performance wave for skilled to pro level surfing, we see this park as a true benefit to our valley.

Palm Springs Surf Club is also working with the city to provide increased public safety while providing a unique water experience for the public. We find them to be very community driven and we are excited to continue our partnership with PSSC.

The chamber feels that this is a very unique opportunity for our city to shine even brighter and we support their efforts to make Palm Springs "like no place else".

Sincerely,

A handwritten signature in black ink, appearing to read "Nona Watson".

Nona Watson, CEO
Palm Springs Chamber of Commerce

The Palm Springs Surf Club (PSSC)

PSSC PROJECT DESCRIPTION

Existing Conditions (not a part of this Amendment request)

1. Overall infrastructure of the Wet n Wild water park remains in place subject to PSSC upgrades/rehabilitation, ADA compliance, health and safety upgrades, more shade, etc
2. Modification of existing wave pool pump house building under current permit approved by city
3. Certain slides and other water park features removed from the park per prior city review and approval
4. Selected demolition activities also per current permit approved by city

Proposed Project Elements (see attached Project Exhibits)

1. Two new wave pool pump house buildings; noise output to be compliant with city noise policy criteria
2. Reconfiguration of existing wave pool to facilitate new enhanced surfing wave
3. Selected removal of water park features and/or demolitions
4. Replacement of cabanas on south side of reconfigured wave pool with food/beverage station and service
5. New Kid Pool and family area in location of existing Red slide to be removed
6. Lazy River Island modifications to remove existing structure; add pool element; add food/beverage station and service
7. Tenant Improvements to existing structure for admin space, fitness center, yoga, upgrade the existing kitchen, restaurant, lounge, ADA compliant restrooms, check-in functions, retail space, and related ancillary space.
8. Add new emergency vehicle access driveway and corresponding new access on the west side of the property
9. Replace existing onsite pole lighting with modern downward illuminating pole lighting for nighttime use of the wave pool
10. Passive area for picnic space with ability to mobilize temporary stage elements for community/onsite events similar to prior Wet n Wild operations
11. Emergency Action Plan to be developed by PSSC in combo with city, Police, Fire input

PSSC OPERATIONAL OVERVIEW

Wave Pool: caters to wide range of surfing skill levels from pro/expert to beginner; public use and exclusive private party options; staffed by certified lifeguards; Public Use and Private Bookings; Supporting Uses: fitness center, yoga, sauna, surf rentals, shaping services, pro shop, restaurant/lounge, retail store, community/onsite event space; Operations: Year Round

Water Park: caters to non-surfing visitors; water slides; Lazy River; pool area; family area; food/beverage stations and service; Public Use; Supporting Uses: food/beverage service and retail store. Operations: Seasonal - based on Demand

PSSC PROJECT INFO

Reason for Request

1. Wet n Wild water park is outdated and losing energy as a vibrant business/recreational attraction in the city; certain areas unsafe and unhealthy for continued public use
 2. Improvements and park enhancements centered around modern high performance surfing wave
 3. New artificial wave pool will also accommodate beginning skill levels of surf park visitors
 4. Range of park non-surfing park visitors accommodated via upgrades to water park features onsite
-
5. Increased quality and variety of food and beverage options
 6. Increased public safety and improved visitor experience

Special Circumstances

1. Current water park is 'run down'
2. Proposed project will assist with tourist/visitor attraction to the city as well as local amenity for citizens with related economic benefits to area restaurants, hotels, Chamber of Commerce members, other tourist attractions, etc
3. PSSC will benefit from close proximity to the Palm Springs International Airport
4. Wave Pool and Restaurant to be open year round vs historic/seasonal operations of the Wet n Wild water park
5. PSSC to provide benefit and venue for area schools, community groups, non-profit organizations, and other stakeholders

6. Adequate parking onsite
7. Project elements will be modern, clean, safe and state of the art
8. Diversity of targeted park users from pro/expert surfers to non-surfing children and visitors seeking water-based recreation

No Impact to Adjacent Properties

1. Adjacent land uses include public roadways, water district property/use, city golf course, self storage facility, mostly vacant Agua Caliente tribal land, and existing sign shop operation
 2. No adjacent residential or sensitive land uses: same property location as the Wet n Wild water park
 3. Nearest residential area to the south is over 1000 feet across the city golf course and over 2000 feet to the east across Crossley Road
-
-

Building Summary

	<u>Existing Size</u>		<u>Additional sq.ft.</u>	<u>To be removed</u>	<u>Net Change</u>	
Building A	1259	sq.ft.	0	0	0	
Restrooms						
pumps for slides						
Building B	1647	sq.ft.	571	1647	-1076	
Restrooms						
Food/Beverage Snack Bar						
Building C	474	sq.ft.	0	474	-474	
Pump Building						
Building D	1462	sq.ft.	0	0	0	
Restrooms	212	sq.ft.	0	212	-212	
Food/Beverage Snack Bar						
Building E	17902	sq.ft.	7311	0	7311	
Offices, Kitchen, retail, Food/beverage						
Lockers, Main entrance						
Building F	461	sq.ft.	0	461	-461	
Pump Building						
Building G	6098	sq.ft.	2658	0	2658	
Pump building						
Phase pump wings						
Existing Buildings	29515	sq.ft.				
Additional sq.ft.			10540	sq.ft.		
Building to be removed				2794	Sq.ft.	
Net increase in building square footage					7746	sq.ft.
Percent increase					26%	
Total Building sq.ft. with additions	37,261	sq.ft.				



PUBLIC INTEGRITY DISCLOSURE
APPLICANT DISCLOSURE FORM

RECEIVED

OCT 14 2019

PLANNING SERVICES
DEPARTMENT

1. Name of Entity
Palm Springs Surf Club

2. Address of Entity (Principle Place of Business)
1500 S. Gene Autry Trail Palm Springs CA 92264

3. Local or California Address (If different than #2)
1348 Skyline Blvd Laguna Beach CA 92652

4. State where Entity is Registered with Secretary of State
Delaware
If other than California, is the Entity also registered in California? Yes No

5. Type of Entity
 Corporation Limited Liability Company Partnership Trust Other (please specify)

6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify)
Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity

James Dunlop CEO
[name] Officer Director Member Manager
 General Partner Limited Partner
 Other _____

Kalani Robb President
[name] Officer Director Member Manager
 General Partner Limited Partner
 Other _____

Matt Bolden COO/ CFO
[name] Officer Director Member Manager
 General Partner Limited Partner
 Other _____

Eric Munoz

10% Pono Partners

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
EXAMPLE JANE DOE [name of owner/investor]	50%, ABC COMPANY, Inc. [percentage of beneficial interest in entity and name of entity]
A. James Dunlop [name of owner/investor]	25% Pono Partners [percentage of beneficial interest in entity and name of entity]
B. Kolani Robb [name of owner/investor]	19% Pono Partners [percentage of beneficial interest in entity and name of entity]
C. James Willis [name of owner/investor]	10% Pono Partners [percentage of beneficial interest in entity and name of entity]
D. Matt Belden [name of owner/investor]	17% Pono Partners [percentage of beneficial interest in entity and name of entity]
E. Cheyne Majorsien [name of owner/investor]	10% Pono Partners [percentage of beneficial interest in entity and name of entity]

I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.

Signature of Disclosing Party, Printed Name, Title Matt Belden	Date 10/2/19
---	-----------------

Shawn McEiff

9% Pono Partners

PENALTIES
Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.

OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS,
CALIFORNIA, APPROVING FINAL DEVELOPMENT PLANS
FOR THE OASIS WATER PARK, FOR PROPERTY LOCATED
ON GENE AUTRY TRAIL, M-1 ZONE, SECTION 20.

- - - - -

WHEREAS the Planning Commission has considered an application by J. Kocourek representing the Oasis Water Park for approval of Final Development Plans for a water park; and

WHEREAS the Planning Commission recommended approval of the application at their meetings of November 13, 1985 and December 11, 1985; and

WHEREAS the Planning Commission finds that the proposed project is consistent with the General Plan of the City of Palm Springs; and

WHEREAS the City Council is in agreement with the recommendation of the Planning Commission; and

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Palm Springs does hereby approve the Final Planned Development District application, subject to the following conditions:

1. That the mass of the wing wall on the wave pool building be increased.
2. That stucco-wrapped parapets be used throughout rather than metal caps.
3. That exposed beams be stained.
4. That the outcroppings of artificial rock undulate and break up horizontal plane at the top of the hill.
5. That the gunnite have an integral color and be highlighted with applied dye to achieve a natural effect.
6. That Rosemary be added to the plant list.
7. That planting be added in the field at the discretion of the landscape architect (with the landscape architect to be present during the planting operation).
8. That the tower colors shall be blue or white with handrails painted to match.
9. That this approval does not include Phase II (5.2 acres) adjoining Crossley Road. Details of the proposed development of this site shall be submitted for the approval of the City prior to any development of the site.
10. That access to the site be from Gene Autry Trail only.
11. That a detailed grading plan be submitted for city approval prior to issuance of occupancy permits.
12. That all mitigation measures listed in the Environmental Assessment/Initial Study be implemented.
13. That the project perimeter be fenced.
14. That all recommendations of the Development Committee be met.

WP/

3 B 1

CITY OF PALM SPRINGS

Planning Commission

Resolution No. 3739

GRANTING the Oasis Water Park a planned development district to allow construction of a water park off Sonora Road (extension) at Gene Autry Trail, M-1 Zone, Section 20.

WHEREAS the Planning Commission of the City of Palm Springs has considered an application by J. KOCOUREK representing Oasis Water Park for a planned development district to allow construction of the above-described project; and

WHEREAS the Planning Commission finds that the establishment of the use for which the application is made can be justified as required in Section 9407.00 of the Zoning Ordinance as follows:

1. That the private recreation use applied for in the location set forth in the application is properly one for which a planned development district application is authorized by the Zoning Ordinance.
2. That the recreation use is necessary and desirable for the development of the community and enhances its resort function. The proposal complies with the Tahquitz Creek Scenic Recreation Area plan which as a guide to development is an element of the General Plan.
3. That the use is not detrimental to existing and future uses permitted in the zone.
4. That the site is adequate in size and shape to accommodate the proposed use including yards, setbacks, walls, and fences or landscaping and other features required to adjust the use to existing and future uses in the neighborhood.
5. That the site relates to Gene Autry Trail, a 100 foot major thoroughfare, which is properly designed and improved and has adequate capacity to carry traffic generated by the proposal.
6. That conditions have been imposed and shown on the approved site plan which are deemed necessary to protect the public health, safety, and general welfare.

NOW THEREFORE BE IT RESOLVED that the Planning Commission does hereby approve Case 5.0356-PD-168 subject to the following conditions:

1. That detailed landscape, exterior lighting, and irrigation plans be submitted with the final planned development district application (to include full details of artificial rockwork).
2. That details of signs be submitted with the final planned development district application.

3. That this approval does not include Phase II (5.2 acres) adjoining Crossley Road. Details of the proposed development of this site shall be submitted for the approval of the City prior to any development of the site.
4. That access to the site be from Gene Autry Trail only.
5. That written proof of legal access to Gene Autry Trail be submitted with the final planned development district application.
6. That written proof of legal access to the proposed first aid station be submitted with the final planned development district application.
7. That details (location, number, noise levels) of exterior audio systems be submitted with the final planned development district application.
8. That the final planned development district application include details of any exposed pipework and mechanical equipment.
9. That a detailed grading plan be submitted with the final planned development district application.
10. That all mitigation measures listed in the Environmental Assessment/Initial Study be implemented.
11. That the application requirements of the final planned development district be implemented, i.e., final plans must be submitted and approved within two years of preliminary planned development district approval with detailed plans per Zoning Ordinance Section 9407.00.E.4.
12. That the project perimeter be fenced.
13. That all recommendations of the Development Committee be met.

ADOPTED by the Planning Commission this 10th day of April, 1985, by the following vote:


AYES: Curtis, Apfelbaum, Kaptur, Lawrence, Service

NOES: None

ABSENT: Madsen

ATTEST:


Secretary, Planning Commission


Chairman, Planning Commission

RESOLUTION NO. 15502

OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS,
CALIFORNIA, APPROVING A PRELIMINARY PLANNED
DEVELOPMENT DISTRICT APPLICATION FOR A WATER
PARK. FOR PROPERTY LOCATED EAST OF GENE AUTRY
TRAIL, SOUTH OF MESQUITE ROAD AND NORTH OF THE
PALM CANYON WASH, M-1 ZONE, SECTION 20.

- - - - -

WHEREAS the Planning Commission has considered an application by Mr. Kocourek representing Mr. Hazelrigg; and

WHEREAS the Planning Commission recommends approval of this application at its meeting of April 10, 1985, based on the findings set forth in its minutes of April 10, 1985 and subject to conditions; and

WHEREAS the City Council is in agreement with the findings and recommendation of the Planning Commission,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Palm Springs does hereby approve Preliminary Planned Development District 163 subject to the following conditions:

1. That detailed landscape exterior lighting and irrigation plans shall be submitted with the Final Planned Development District application (include full details of artificial rockwork).
2. That details of signs shall be submitted with the Final Planned Development District application.
3. That this approval does not include Phase II (5.2 ac) adjoining Crossley Road. Details of the proposed development of this site shall be submitted for the approval of the City prior to any development of the site.
4. That access to the site shall be from Gene Autry Trail only.
5. That written proof of legal access to Gene Autry Trail shall be submitted with the Final Planned Development District application.
6. That written proof of legal access to the proposed First Aid station shall be submitted with the Final Planned Development District application.
7. That details (location, number, noise levels) of exterior audio systems shall be submitted with the Final Planned Development District application.
8. That the Final Planned Development District application shall include details of exposed pipework and mechanical equipment.
9. That a detailed grading plan shall be submitted with the Final Planned Development District application.
10. That all mitigation measures listed in the Environmental Assessment initial study shall be complied with.
11. That the application requirements of the Final Planned Development District be met as contained in Section 9407.00 of the Zoning Ordinance.
12. That the application requirements of the Final Planned Development District shall be implemented, i.e., final plans must be submitted and approved within two years of preliminary Planned Development District approval with detailed plans per Zoning Ordinance Section 9407.00.E.4.
13. That the project perimeter be fenced

Res. 15502

14. That all recommendations of the Development Committee be met.
15. That the City Council reserves the right to review and modify the conditions of approval in the event that complaints arise from the surrounding vicinity as a result of this development.

ADOPTED this 1st day of May, 1985.

AYES: Councilmembers Foster, Maryanov, Smith and Mayor Bogert

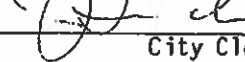
NOES: None

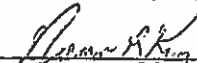
ABSENT: None

ABSTAIN: Councilmember Birer

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

By 
City Clerk


City Manager

REVIEWED & APPROVED: 



Dear Palm Springs Planning Commission,

A few years ago the concept of surfing in the desert was unheard of. Our high school surf club was regarded with disbelief. We often heard, "Where are you going to surf? The Salton Sea?" With Pono Partners' revolutionary vision of transforming Wet 'n' Wild into The Palm Springs Surf Club (PSSC) our response would quickly change from a distant beach city to "Palm Springs, of course". This proposed renaissance would provide an opportunity to make surfing accessible to an entirely new community of people while also bringing new visitors to Palm Springs.

Our valley is growing, families with children are looking for entertainment resources, especially during the summer, and options are limited. Often these groups are leaving our community and traveling elsewhere to find family centered activities. With PSSC's proposal to bring a state of the art surf pool and other water related attractions such as a kid's play area, pools, and slides families will be able to fulfil that need without leaving the area, thus investing back into our local community.

The PSSC will help to revitalize Palm Springs. A state of the art surf park, like the one being proposed, will not only bring experienced surfers from around the world to our area in pursuit of experiencing the novelty of a technology driven wave, but also add another dimension to our reputation as a hot vacation spot for our tourism industry. There are a handful of surf parks in the country. Adding Palm Springs to the list of communities with this amenity will generate quite a bit of buzz about our valley.

While having this park in our community is exciting, the true benefit comes from having Pono Partners investing in our valley. These people have already placed a high value on supporting and giving back to the community that they are coming to serve. Desert Mirage High School has had a surf club since 2018. When we reached out to PSSC they were very supportive of what was happening at our high school. We've been so grateful for their support and guidance in working with our students. We are excited about the chance to continue our relationship as they open their surf park. The benefit that it would bring to the students on the east side of the valley, by making surfing more accessible to our youth is priceless. They strongly believe in giving back to the community that they serve and plan to do this in many ways.

Having PSSC as part of our valley community is going to revitalize our area, provide entertainment for our local residents, and positively influence the growing youth population by updating and improving the already existing water park. This is a unique opportunity for Palm Springs; I hope it is welcomed and supported by the city.

Sincerely,

Krysten Gonda



Palm Springs
CHAMBER OF COMMERCE

Dear Palm Springs Planning Commission,

The Palm Springs Chamber of Commerce is committed to supporting businesses that grow our local economy and provide employment opportunities for our residents. We are very supportive of the exciting plans Palm Springs Surf Club has for the Wet n Wild water park. With features like a state- of- the- art wave pool with high performance wave for skilled to pro level surfing, we see this park as a true benefit to our valley.

Palm Springs Surf Club is also working with the city to provide increased public safety while providing a unique water experience for the public. We find them to be very community driven and we are excited to continue our partnership with PSSC.

The chamber feels that this is a very unique opportunity for our city to shine even brighter and we support their efforts to make Palm Springs "like no place else".

Sincerely,

A handwritten signature in cursive script, appearing to read "Nona Watson".

Nona Watson, CEO
Palm Springs Chamber of Commerce



02/10/2019



02/10/2019



02/10/2019

ACOUSTICAL ANALYSIS REPORT

**The Palm Springs Surf Club
1500 South Gene Autry Trail
Palm Springs, California 92264**

Prepared For

**Pono Acquisition Partners 1, LLC
Attention: Eric Munoz
1348 Skyline Drive
Laguna Beach, California 92651**

Prepared By

**Eilar Associates, Inc.
Acoustical & Environmental Consulting
210 South Juniper Street, Suite 100
Escondido, California 92025
www.eilarassociates.com
Phone: 760-738-5570
Fax: 760-738-5227**

Job #S190901

September 12, 2019

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SEP 19 2019

PLANNING SERVICES
DEPARTMENT

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- C. Manufacturer Data Sheets
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1.0 EXECUTIVE SUMMARY

The proposed project, The Palm Springs Surf Club, consists of the renovation of an existing wave pool to include new mechanical equipment and additions to the existing mechanical building, as well as the construction of two new pump buildings. The subject property is located at 1500 South Gene Autry Trail in the City of Palm Springs, California.

The purpose of this report is to assess noise impacts from proposed equipment at the facility and to determine if mitigation is necessary to reduce project-related noise impacts to meet applicable noise limits. Noise limits specified within the City of Palm Springs Municipal Code must be met at neighboring property lines.

Calculations show that, as designed and with the currently proposed hours of operation in effect, noise levels from the proposed mechanical equipment are expected to exceed the applicable evening noise limits defined by the City of Palm Springs at the south property lines. Calculations show that, with the mitigation measures detailed in this report in place, noise levels from the proposed mechanical equipment are expected to meet the applicable daytime and evening noise limits defined by the City of Palm Springs at all property lines.

By implementing the recommendations made within, The Palm Springs Surf Club is expected to meet the requirements of the City of Palm Springs.

2.0 INTRODUCTION

This acoustical analysis report is submitted to satisfy the noise requirements of the City of Palm Springs. Its purpose is to assess noise impacts from on-site project-related mechanical noise sources, and to determine if mitigation is necessary to reduce the noise impacts to levels compliant with City of Palm Springs requirements.

All noise level or sound level values presented herein are expressed in terms of decibels (dB), with A-weighting, abbreviated "dBA," to approximate the hearing sensitivity of humans. Time-averaged noise levels are expressed by the symbol " L_{EQ} ." Unless a different time period is specified, " L_{EQ} " is implied to mean a period of one hour. Some of the data may also be presented as octave-band-filtered and/or 1/3-octave-band-filtered data, which are a series of sound spectra centered about each stated frequency, with half of the bandwidth above and half of the bandwidth below each stated frequency. This data is typically used for machinery noise analysis and barrier calculations.

Sound pressure is the actual noise experienced by a human or registered by a sound level instrument. When sound pressure is used to describe a noise source, the distance from the noise source must be specified in order to provide complete information. Sound power, on the other hand, is a specialized analytical metric used to provide information without the distance requirement, but it may be used to calculate the sound pressure at any desired distance.

2.1 Project Description

The proposed project, The Palm Springs Surf Club, consists of the renovation of an existing wave pool to include new mechanical equipment and additions to the existing mechanical building, as well as the construction of two new pump buildings. The proposed hours of operation are 7 a.m. to 10 p.m. For additional project details please refer to the project plans, provided in Appendix A.

2.2 Project Location

The subject property is located at 1500 South Gene Autry Trail in the City of Palm Springs, California. The Assessor's Parcel Number (APN) for the site is 680-180-029. The project site is currently occupied by an existing water park and surf pool. For a graphical representation of the site, please refer to the Vicinity Map, Assessor's Parcel Map, Satellite Aerial Photograph, and Topographic Map provided as Figures 1 through 4, respectively.

2.3 Applicable Noise Regulations

The noise regulations applicable to this project are contained within the City of Palm Springs Municipal Code. The subject property is zoned PD (Planned Development) and has a commercial use. The property to the south is zoned O5 (Open Space), and is occupied by the Tahquitz Creek Golf Resort. The property to the west is zoned M1 (Industrial) and is also occupied by the Tahquitz Creek Golf Resort.

Noise impacts at neighboring properties must meet the noise regulations contained within the City of Palm Springs Municipal Code, which specifies noise limits based on the land use of the properties in question. Although the City of Palm Springs does not list noise limits for properties zoned for Open Space land use, as the property to the south is occupied by the Tahquitz Creek Golf Resort, which includes dining facilities and other commercial uses on site, a commercial noise limit has been applied at this property line. According to Section 11.74.031 (Noise level limit) of the City of Palm Springs Municipal Code, properties zoned for commercial use have noise limits of 60 dBA L_{EQ} between the hours of 7 a.m. and 6 p.m., with noise limits of 55 dBA L_{EQ} between the hours of 6 p.m. and 10 p.m., and noise limits of 50 dBA L_{EQ} between the hours of 10 p.m. and 7 a.m. Properties with industrial use have noise limits of 70 dBA L_{EQ} between the hours of 7 a.m. and 6 p.m., with noise limits of 60 dBA L_{EQ} between the hours of 6 p.m. and 10 p.m., and noise limits of 55 dBA L_{EQ} between the hours of 10 p.m. and 7 a.m.

Additionally, Section 11.74.030 (Fixed and nonstationary sources) of the Municipal Code states that "it shall be unlawful for any person to operate or cause to be operated any single or combination of fixed source or non-stationary source type of equipment or machinery except construction equipment used in connection with construction operations, that individually or collectively constitute an identifiable sound source in such a manner as to cause the sound level at any point on the property line of any property to exceed by five decibels or more, the noise level limits set forth in Section 11.74.031."

As proposed, the wave pool equipment will only operate during daytime and evening hours, and therefore, the more restrictive evening noise limits of 65 dBA and 60 dBA (taking into account the 5 dBA allowance from Section 11.74.03) were applied at the western and southern property lines, respectively. Please refer to Appendix B for pertinent sections of the City of Palm Springs Municipal Code.

3.0 ENVIRONMENTAL SETTING

3.1 Existing Noise Environment

An on-site inspection was conducted at 11:30 a.m. on Thursday, March 28, 2019. The weather conditions were as follows: sunny skies, winds at 0-5 mph, low humidity, and temperatures in the high 70s. An ambient noise measurement was conducted at the southern property line,

approximately 25 feet east of the western property line project site. The microphone position was approximately five feet above the existing grade. Noise sources present during this measurement included noise from traffic on State Route 111 and minor impacts from aircraft, as well as noise associated with the adjacent golf course. The measured noise level is shown in Table 1, and a graphical representation of the noise measurement location is shown in Figure 5.

Table 1. On-Site Noise Measurement Conditions and Results	
Date	Thursday, March 28, 2019
Time	11:33 a.m. – 11:49 a.m.
Conditions	Sunny skies, winds at 0-5 mph, temperature in the high 70s with low humidity
Measured Noise Level (L_{Eq})	56.2 dBA

3.2 Future Noise Environment

The future noise environment in the vicinity of the project site will be primarily a result of the same noise sources, as well as the noise generated by the proposed mechanical equipment on site, which includes a total of 16 blowers, eight to be installed in the main Blower Room and four to be installed in both the north wing and south wing pump houses. The proposed blowers are 6105SW fans, manufactured by Chicago Blower Corporation. Noise level data for the proposed blowers were provided by the manufacturer as octave-band sound power levels for the discharge air path, which are shown in Table 2. Please refer to Appendix C for additional information.

Table 2. Sound Power Level of Proposed Blower – Discharge Air								
Source	Sound Pressure Level at Octave Band Frequency (dB)							Total (dBA)
	63	125	250	500	1K	2K	4K	
Manufacturer	116	119	112	118	113	111	110	119

In addition to the discharge sound data provided by the manufacturer, the manufacturer has also provided the broadband A-weighted sound level of the casing radiated noise from the fan. According to the manufacturer, the casing radiated noise from each blower is 88 dBA, as measured at a distance of three feet from the fan housing (1/4-inch steel). In order to estimate the octave-band sound power level of the casing radiated noise, the octave-band sound power data of the fans (as shown in Table 2), with the noise reduction provided by a 1/4-inch thick steel panel was used, and adjusted in order to result in an overall noise level of 88 dBA. Estimated octave-band sound power levels of the casing radiated noise from the proposed blowers are shown in Table 3. Please refer to Appendix C for additional information.

Table 3. Estimated Sound Power Level of Proposed Blower – Casing Radiated								
Source	Sound Pressure Level at Octave Band Frequency (dB)							Total (dBA)
	63	125	250	500	1K	2K	4K	
Estimated from Manufacturer Data	98	97	85	86	78	80	73	88

The noise levels from Tables 1 and 2 were incorporated into mechanical noise calculations. Please refer to Section 5.0 for additional information.

4.0 METHODOLOGY AND EQUIPMENT

4.1 Methodology

4.1.1 Cadna Noise Modeling Software

Modeling of the outdoor noise environment is accomplished using Cadna Version 2019, which is a model-based computer program developed by DataKustik for predicting noise impacts in a wide variety of conditions. Cadna (Computer Aided Noise Abatement) assists in the calculation, presentation, assessment, and alleviation of noise exposure. It allows for the input of project information such as noise source data, barriers, structures, and topography to create a detailed model and uses the most up-to-date calculation standards to predict outdoor noise impacts. Noise standards used by Cadna that are particularly relevant to this analysis include ISO 9613 (Attenuation of sound during propagation outdoors). Cadna provides results that are in line with basic acoustical calculations for distance attenuation and barrier insertion loss. Further explanation may be provided upon request.

4.1.2 Mechanical Noise Analysis

Calculations of mechanical noise levels in project spaces were calculated using The Acoustic Information Model (AIM) program. AIM is a computer program provided by Pottorff that uses ASHRAE methodologies to calculate mechanical equipment noise in rooms. With user input such as manufacturer noise levels, duct layout, receiver room size and absorption, and other factors, AIM is able to estimate background noise levels and evaluate system alternatives.

4.1.3 Sound Transmission Class (STC) Ratings

Sound Transmission Class (STC) is a single number rating calculated in accordance with ASTM E413, using third-octave values of sound transmission loss. It provides an estimate of the sound performance of a partition, window, or door in sound insulation problems.

Modeling of wall, roof, and floor/ceiling assemblies is accomplished using INSUL Version 9.0, which is a model-based computer program, developed by Marshall Day Acoustics for predicting the sound insulation of walls, floors, ceilings, and windows. It is acoustically based on theoretical models that require only minimal material information that can make reasonable estimates of the sound transmission loss (TL), STC and IIC for use in sound insulation calculations, such as the design of common party walls and multiple family floor-ceiling assemblies, etc. INSUL can be used to quickly evaluate new materials or systems or investigate the effects of changes to existing designs. It models individual materials using the simple mass law and coincidence frequency approach and can model more complex assembly partitions as well. It has evolved over several versions into an easy to use tool and has refined the theoretical models by continued comparison with laboratory tests to provide acceptable accuracy for a wide range of constructions. INSUL model performance comparisons with laboratory test data show that the model generally predicts the performance of a given assembly within 3 STC points.

4.2 Measurement Equipment

Some or all of the following equipment was used at the sites to measure existing ambient noise levels:

- Larson Davis Model LxT Type 1 Integrating Sound Level Meter, Serial #4084
- Larson Davis Model CA250 Type 1 Calibrator, Serial #2106
- Microphone with windscreen

The sound level meter was field-calibrated immediately prior to the noise measurement and checked afterwards to ensure accuracy. All sound level measurements conducted and presented in this report, in accordance with the regulations, were made with sound level meters that conform to the American National Standards Institute specifications for sound level meters (ANSI S1.4). All instruments are maintained with National Bureau of Standards traceable calibration, per the manufacturers' standards.

5.0 NOISE IMPACTS AND MITIGATION

5.1 Noise Impacts at Off-Site Receivers

Noise levels of the proposed on-site mechanical equipment were calculated using a combination of AIM and Cadna. As the duty cycle of the blowers is unknown, it was assumed that they would operate continuously for purposes of a worst-case analysis. The roll-up doors located at each of the Blower Rooms were assumed to be Cookson doors, with an 18 gauge galvanized steel exterior, 22 gauge galvanize interior, and 1-inch thick EPS insulation, with a listed STC rating of 33, or equivalent (refer to Appendix D for additional information). The acoustical louvers are assumed to be VibroAcoustics ALA-HV-18, or an equivalent.

Noise levels of proposed mechanical equipment were first calculated using AIM for the interior of each of the Blower Room and Plenum Room spaces. Results from the AIM noise model were then incorporated into a Cadna noise model to determine noise impacts at neighboring properties to the west and south. These receivers represent the nearest affected locations, and therefore, any other potential receivers would be exposed to lower noise levels as they will receive additional attenuation due to distance and shielding from intervening structures and/or topography. Equipment noise levels were calculated considering shielding provided by the proposed buildings on site. Ground level receivers were calculated at a height of five feet above grade. Calculated results are shown in Table 4. Receiver locations and worst-case noise contours (as designed) are shown in Figure 6. Additional information can be found in Appendix E and Appendix F.

Receiver Number	Receiver Location	Evening Noise Limit (dBA)*	Calculated Equipment Noise Level (dBA)
R1	West Property Line	65	62
R2	South Property Line	60	62

* Noise limit includes 5 dBA allowance, per Section 11.74.030 of the City of Palm Springs Municipal Code

As shown above in Table 4, as designed, noise levels at the southern neighboring receiver are expected to exceed the applicable noise limits of the City of Palm Springs. For this reason, additional noise mitigation is required. The majority of the noise was shown to emanate through the proposed louvers at the main pump house. A 4.5 foot high absorptive sound attenuation wall is required to be installed on top of the roof to mitigate noise impacts to the southern property line receiver. The absorptive side of the barrier should face towards the noise source. Suitable barrier wall products include Noiseshield Type FS Sound Barriers, manufactured by IAC Acoustics, or Noiseblock STL-4 Wall Panels, manufactured by Kinetics Noise Control. Please refer to Table 5 for the noise levels of the mechanical equipment with mitigation in place. Please refer to Figure 7 for receiver locations, barrier wall location, and equipment noise contours. Additional information can be found in Appendices D, E, and F.

Table 5. Calculated Noise Levels of Proposed Equipment – With Mitigation				
Receiver Number	Receiver Location	Daytime Noise Limit (dBA)*	Evening Noise Limit (dBA)*	Calculated Equipment Noise Level (dBA)
R1	West Property Line	75	65	62
R2	South Property Line	65	60	60

* Noise limit includes 5 dBA allowance, per Section 11.74.030 of the City of Palm Springs Municipal Code

As shown above, with a 4.5 foot high absorptive sound attenuation barrier in place in the configuration shown in Figure 7, noise impacts to adjacent property line receivers are expected to comply with the applicable daytime and evening noise limits of the City of Palm Springs.

6.0 CONCLUSION

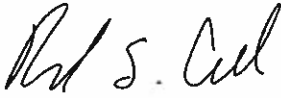
As shown above, noise impacts from on-site project-related mechanical noise sources will exceed applicable noise limits as currently designed. However, with the recommendations listed for mechanical noise mitigation in place, noise impacts are expected to meet requirements at all neighboring property lines.

By implementing the recommendations made within, The Palm Springs Surf Club is expected to meet the acoustical requirements of the City of Palm Springs Municipal Code.

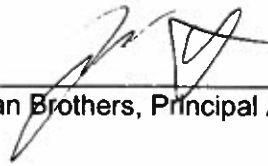
7.0 CERTIFICATION

All recommendations for noise control are based on the best information available at the time our consulting services are provided. However, as there are many factors involved in sound transmission, and Eilar Associates has no control over the construction, workmanship or materials, Eilar Associates is specifically not liable for final results of any recommendations or implementation of the recommendations.

The findings and recommendations of this acoustical analysis report are based on the information available and are a true and factual analysis of the potential acoustical issues associated with The Palm Springs Surf Club in the City of Palm Springs, California. This report was prepared by Rachael Cowell and Jonathan Brothers.



Rachael Cowell, Acoustical Consultant

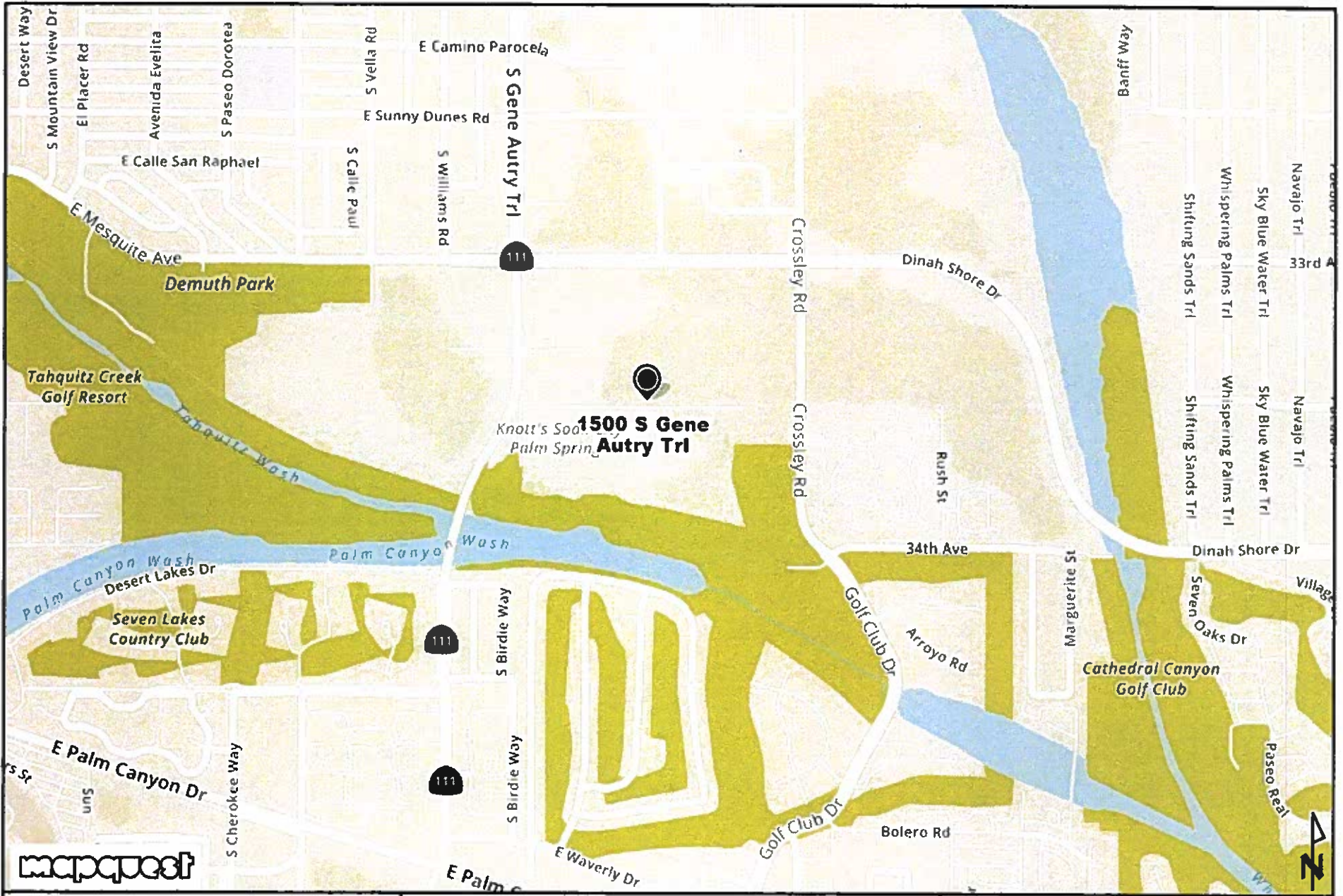


Jonathan Brothers, Principal Acoustical Consultant

8.0 REFERENCES

1. City of Palm Springs Municipal Code, Chapter 11.74 Noise Ordinance.
2. DataKustik, CadnaA (Computer Aided Noise Abatement), Version 2019.
3. Pottorff, Acoustic Information Model (AIM).
4. Marshall Day Acoustics, INSUL Version 9.0, 2017.
5. American Society of Heating, Refrigerating and Air-Conditioning Engineers, ASHRAE Handbook, Chapter 48: Noise and Vibration Control, Last Accessed June 2015.
6. Harris, Cyril M., *Handbook of Acoustical Measurements and Noise Control*, Acoustical Society of America, 3rd Edition, 1998.
7. Harris, Cyril M., Ph.D., *Noise Control in Buildings*, Original Edition, 1994.

FIGURES



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 Escondido, California 92025
 760-738-5570

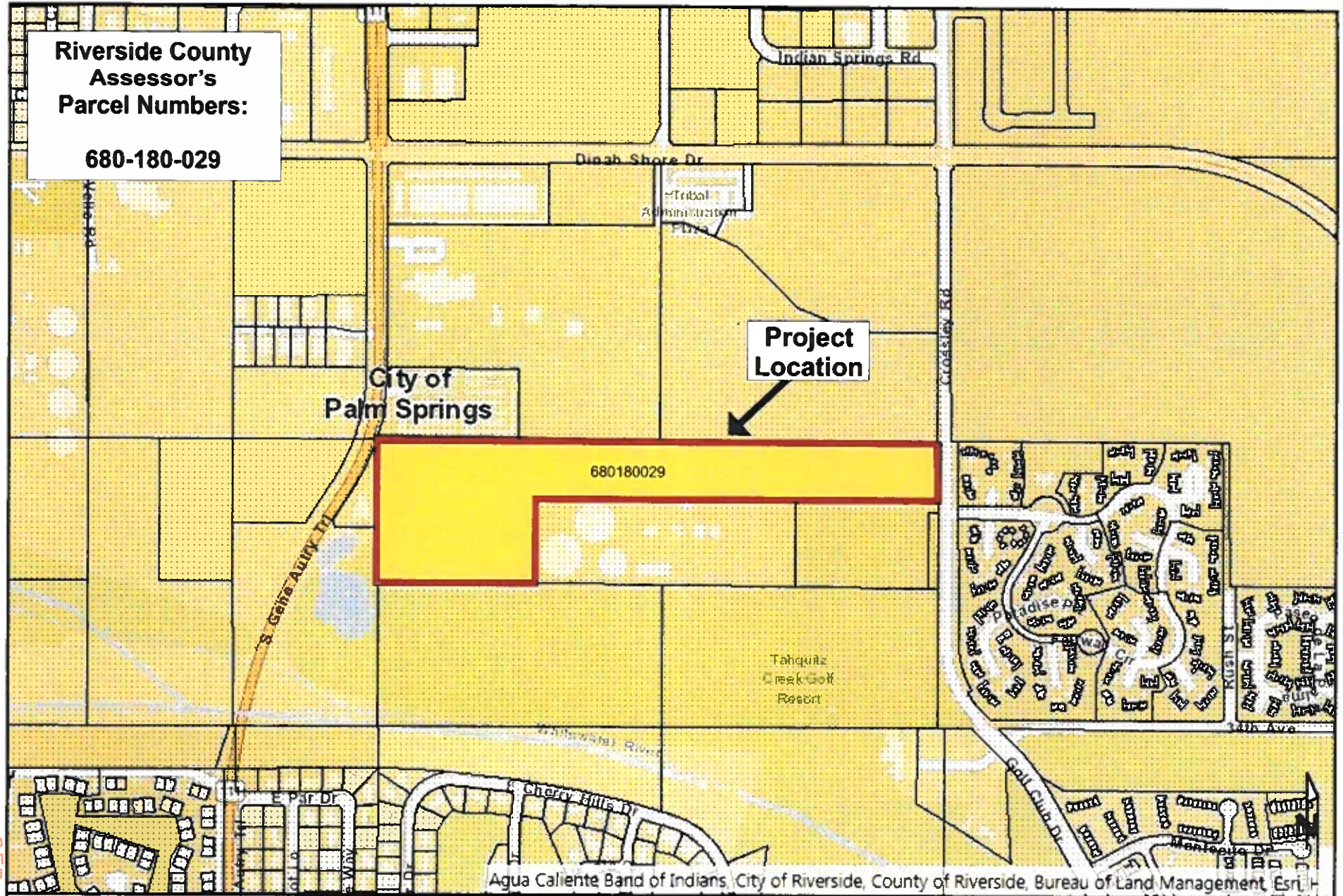
Vicinity Map
 Job # S190901

Figure 1

CEN 1 0 0011

Riverside County
Assessor's
Parcel Numbers:

680-180-029



Agua Caliente Band of Indians, City of Riverside, County of Riverside, Bureau of Land Management, Esri

Eilar Associates, Inc.
210 South Juniper Street, Suite 100
Escondido, California 92025
760-738-5570

Assessor's Parcel Map
Job # S190901

Figure 2

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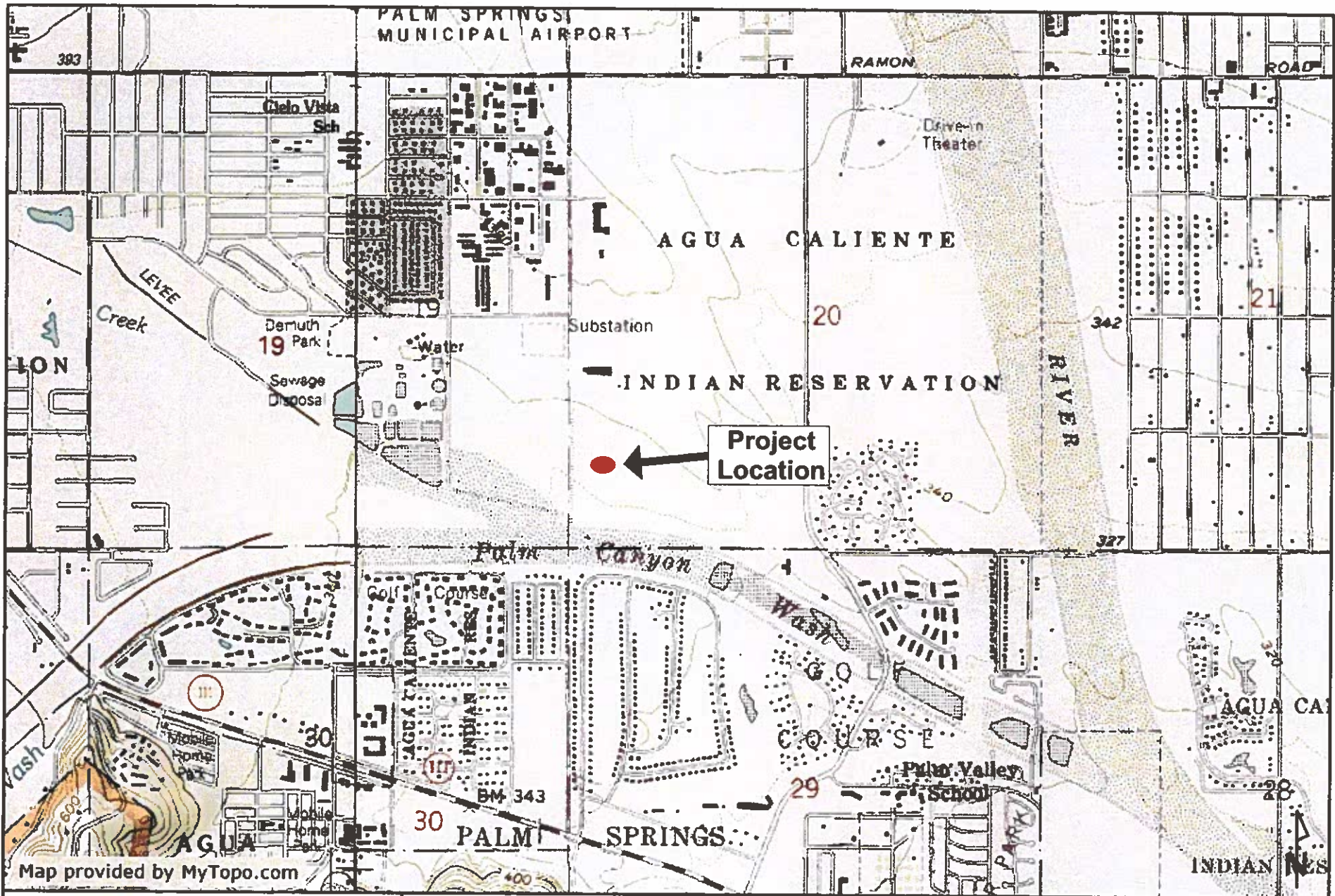


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Satellite Aerial Photograph
Job # S190901

Figure 3

CFP 18 0119

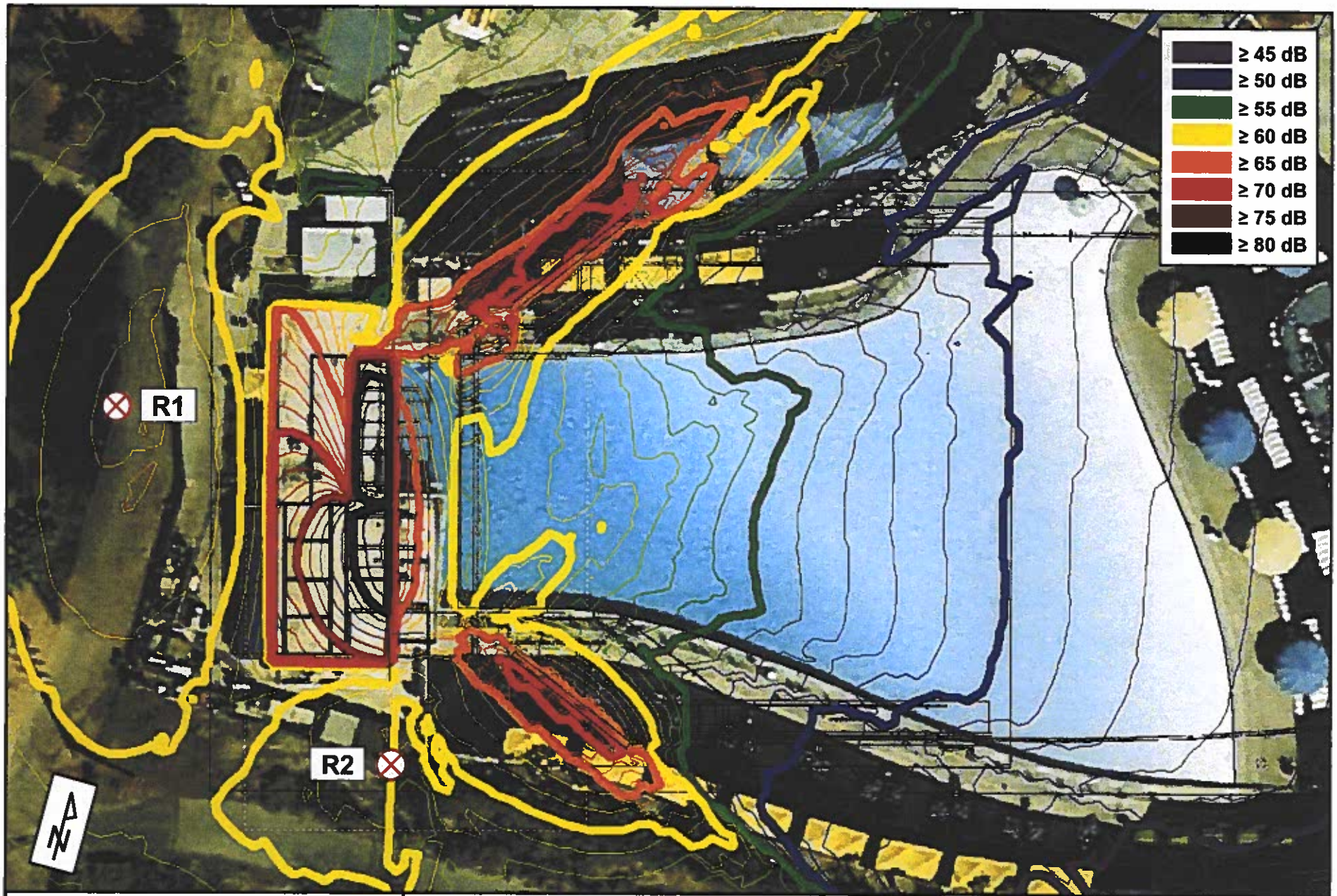


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Topographic Map
 Job # S190901

Figure 4

CED 1 2 9 110

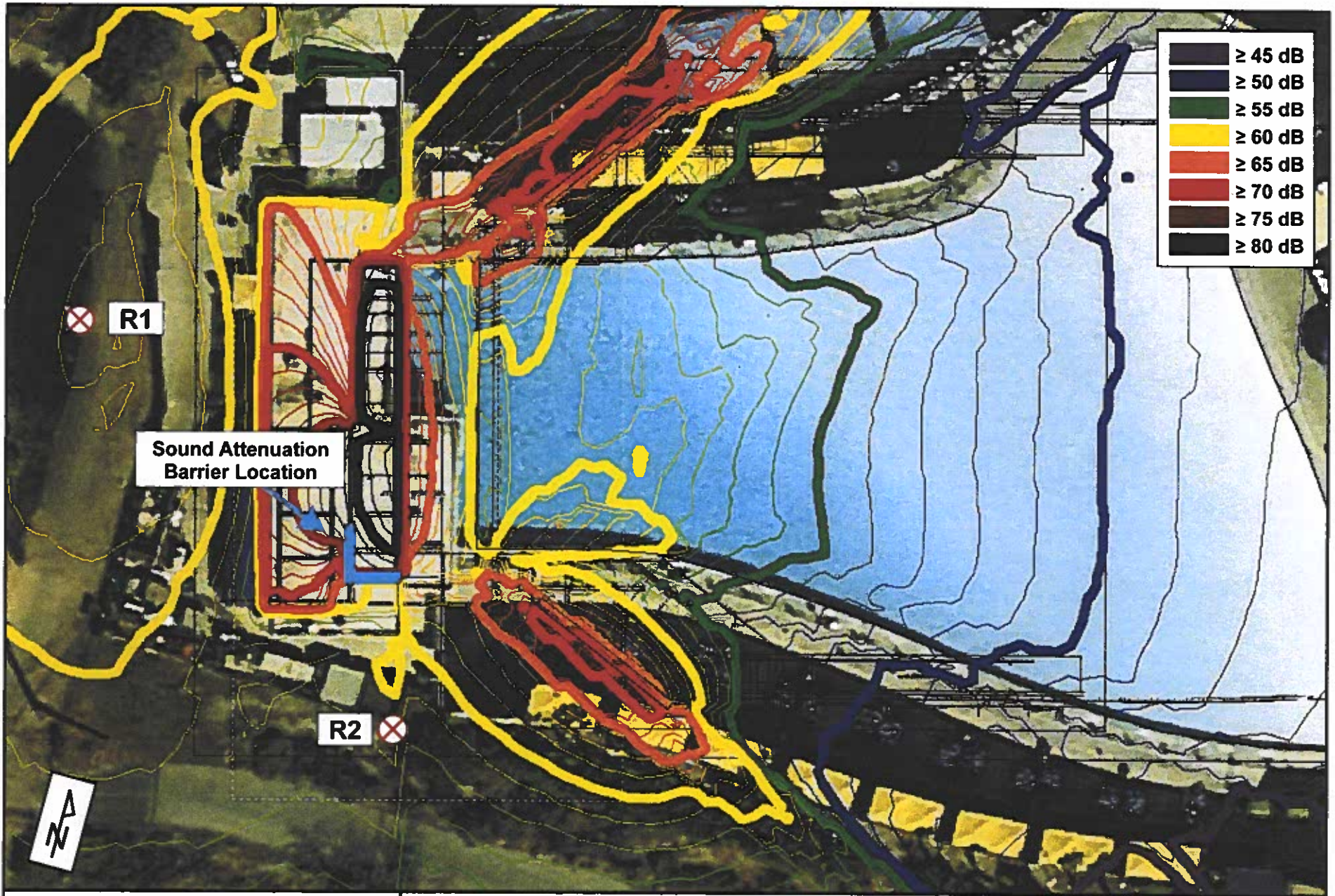


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Satellite Aerial Photograph Showing Site Plan,
 Worst-Case Equipment Noise Contours,
 and Receiver Locations - As Designed
 Job # S190901

Figure 6

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Satellite Aerial Photograph Showing
 Site Plan, Mitigated Worst-Case Equipment
 Noise Contours, Receiver Locations,
 and Barrier Location
 Job # S190901

Figure 7

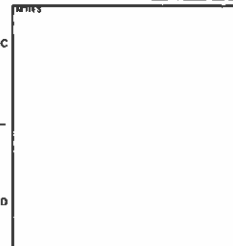
APPENDIX A
Project Plans



**WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS**

1500 S. Gene Autry Trail
Palm Springs, CA 92264

OWNER
PONO ACQUISITION PARTNERS 1, L.L.C.
1348 Skyline Drive
Laguna Beach, CA 92651



PLANNING & ARCHITECTURE



Kamak Planning & Design

614 Calle Vieja, San Clemente, CA 92673
361 Chestnut Way, Carlsbad, CA 92008
Phone: 760.436.8455, Cell: 760.626.0343
E-mail: kamakplandesign@gmail.com

COMBUSTION	STAMP

REVISIONS	
No.	Description

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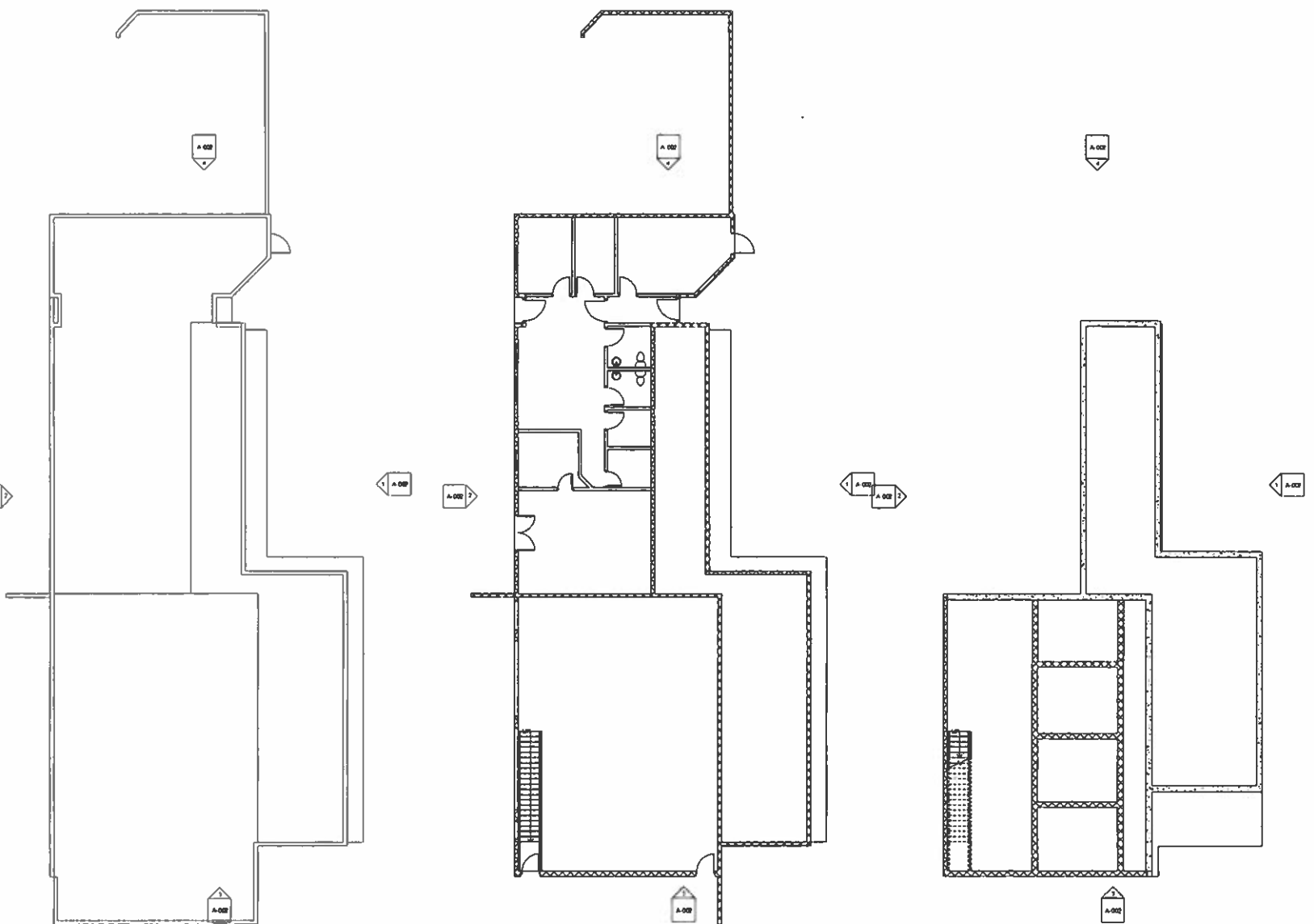
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WAVE POOL & WING PUMP BUILDINGS

SHEET TITLE
BLD-G Sub, Main Level, Roof plans (existing)

DRAWING NUMBER
A-001

SCALE: 1/8" = 1'-0" SIZE: 24X36 REVISION:

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3 Roof Plan (existing)
1/8" = 1'-0"

2 Main Level (existing)
1/8" = 1'-0"

1 Sub-Level (existing)
1/8" = 1'-0"



SEP 18 2019



WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS

1500 S. Gene Autry Trail
Palm Springs, CA 92264

OWNER
POND ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
Laguna Beach, CA 92651

NOTES

PLANNING / ARCHITECTURAL



Kamak Planning & Design

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Phone: 760-334-8400, Cell: 760-828-0940
E-mail: kamakplanning@gmail.com

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No.	Description

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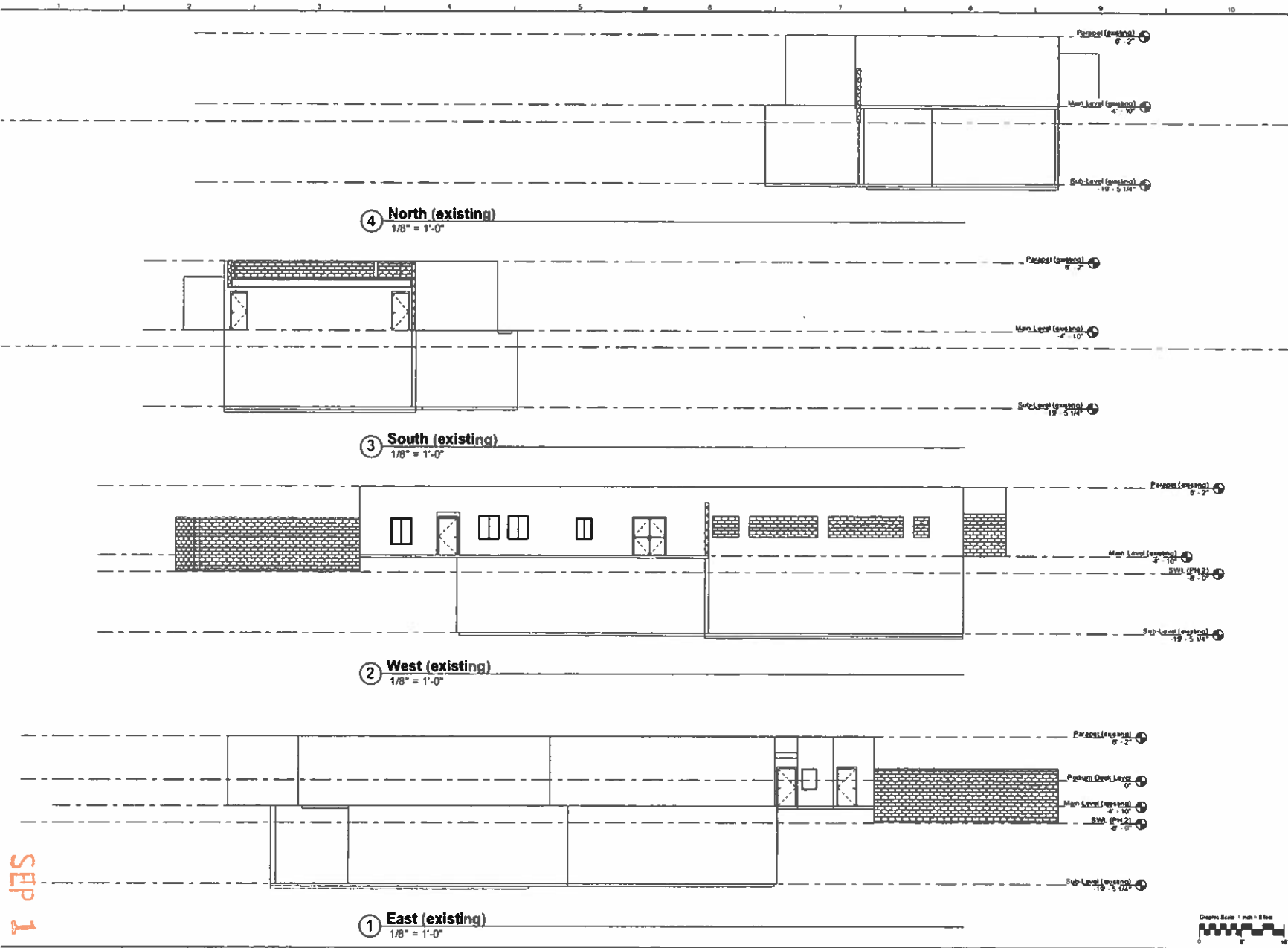
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SHEET TITLE
BOL-G - Exterior Elevations (existing)

DRAWING NUMBER
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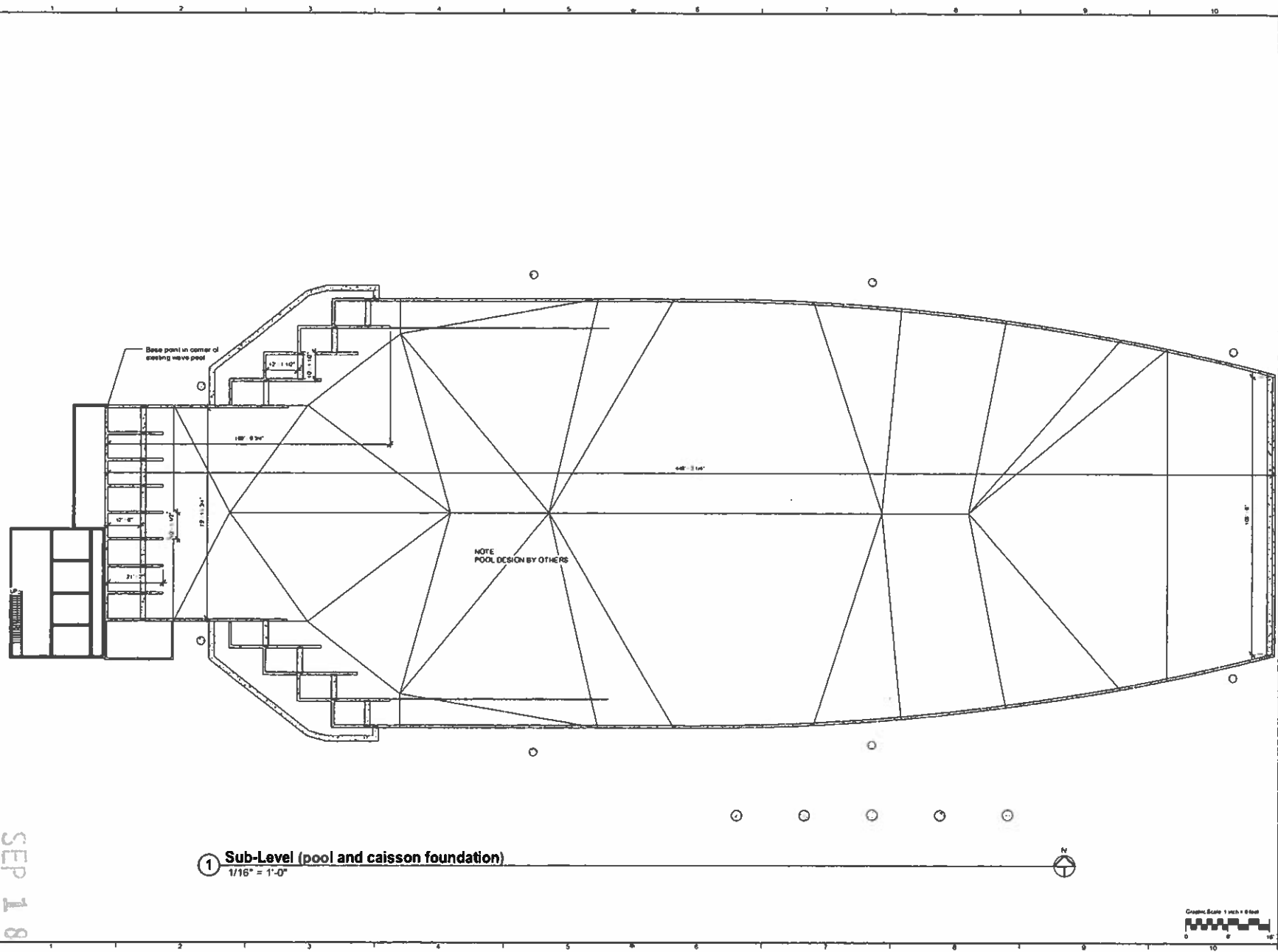
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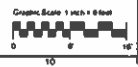


SEP 18 2019

SEP 18 2019



1 Sub-Level (pool and caisson foundation)
 1/16" = 1'-0"



WAVE POOL RENOVATION
 PHASE 2
 PALM SPRINGS

1500 S. Gene Autry Trail
 Palm Springs, CA 92264

CLIENT
 POMO ACQUISITION PARTNERS 1, LLC
 1348 Skyline Drive
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PLANNING / ARCHITECTURAL

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CONSULTANT	STAMP

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07/24/2019	Author	Checker

DRAWING TITLE
WAVE POOL & WING PUMP BUILDINGS

ENTIRETY
 BLD G Foundation plan

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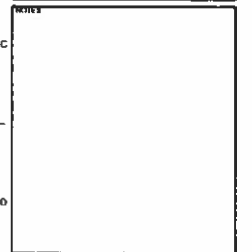
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WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS

1500 S. Gene Aubry Trail
Palm Springs, CA 92264

Client
POND ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
Laguna Beach, CA 92651



PLANNING ARCHITECTURE



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CONSULTANT	STAMP

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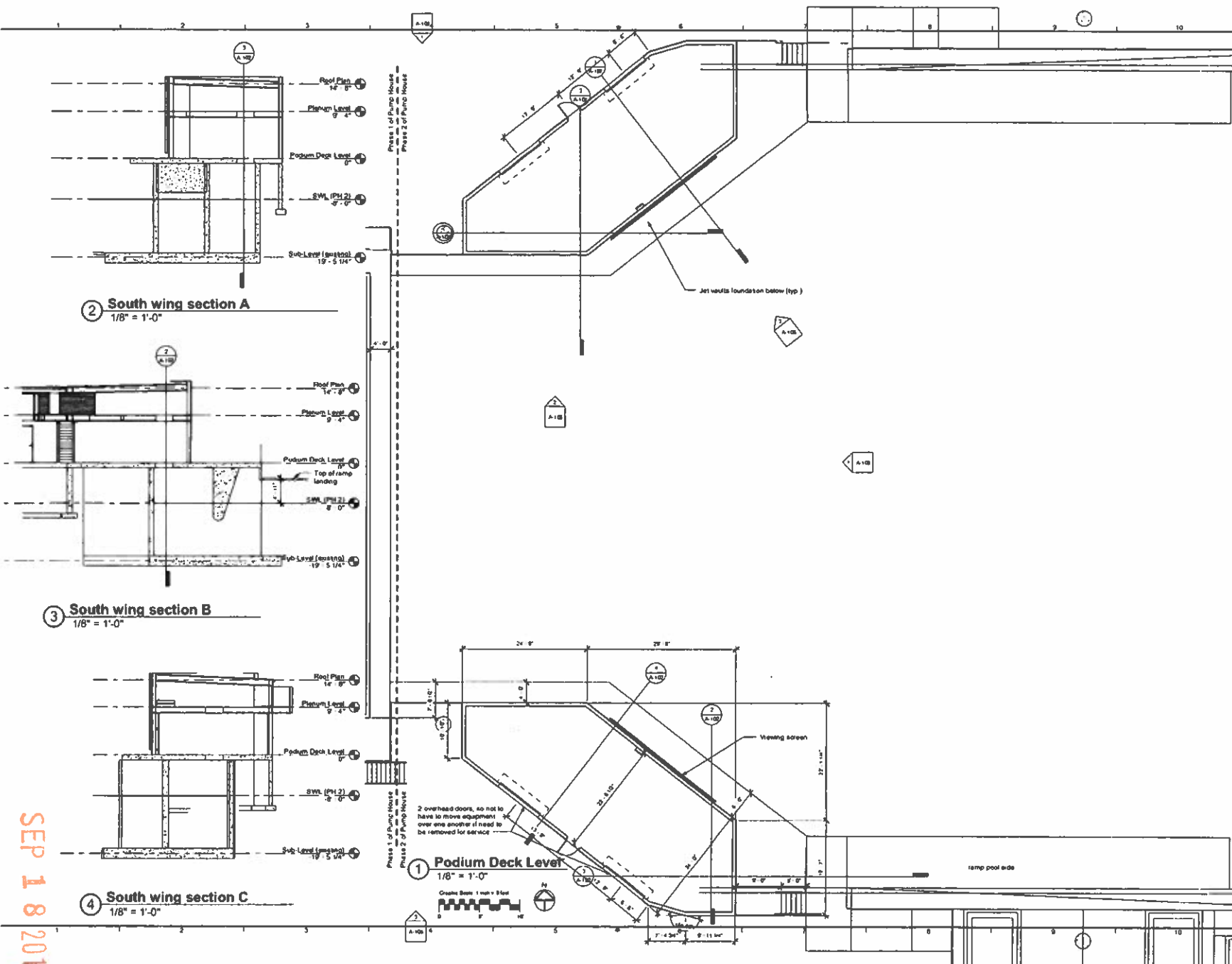
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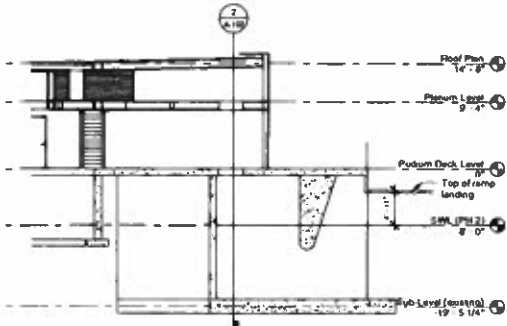
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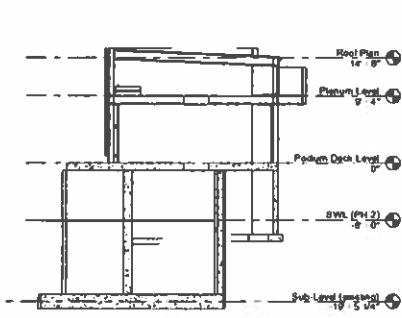
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2 South wing section A
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3 South wing section B
1/8" = 1'-0"



4 South wing section C
1/8" = 1'-0"

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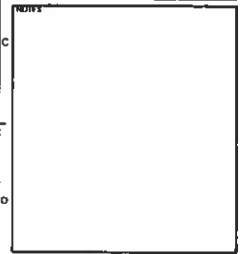
SEP 18 2019



**WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS**

1500 S. Gene Autry Trail
Palm Springs, CA 92264

CLIENT
PONO ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
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E-mail karnakplanning@gmail.com

COMBAT AREA	STAMP

REVISIONS		
No.	Date	Description

PROJECT DATE	DRAWN	CHECKED
07/24/2019	Author	Checker

PROJECT TITLE
WAVE POOL & WING PUMP BUILDINGS

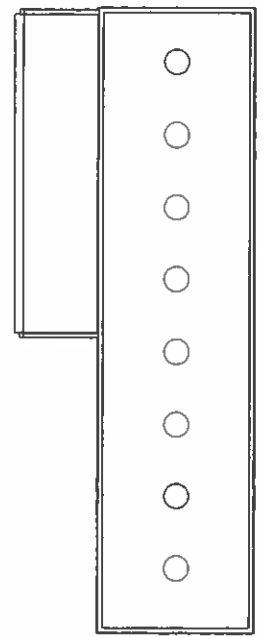
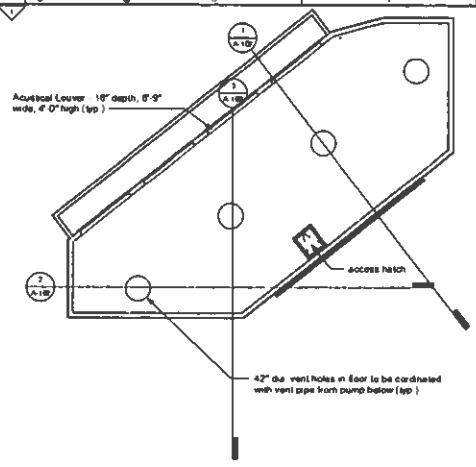
SHEET TITLE
BLD-G Plenum Level

DRAWING NUMBER
A-103

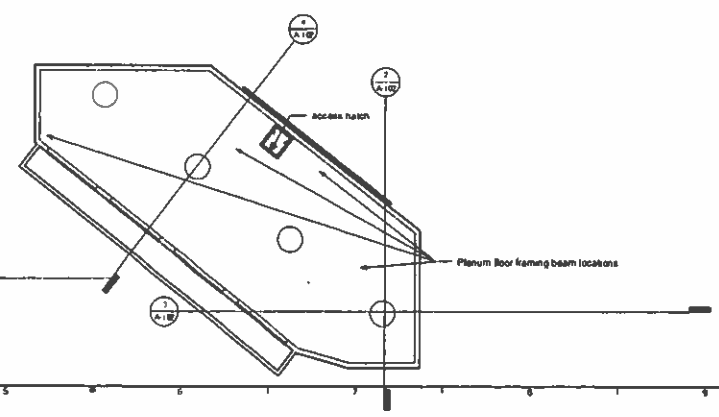
SCALE 1/8" = 1'-0" 24X36 Designer

NOT FOR CONSTRUCTION 09/26/19 11:08 AM

Phase 1 of Pump House
Phase 2 of Pump House



① Plenum Level
1/8" = 1'-0"

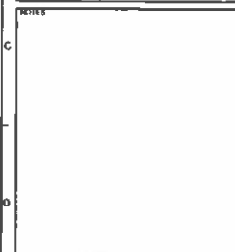




**WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS**

1500 S. Gene Autry Trail
Palm Springs, CA 92264

CLIENT
PONO ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
Laguna Beach, CA 92651



PLANNING & ARCHITECTURAL



Kanak Planning & Design
414 East Yucca, 3rd Floor, Palm Springs, CA 92262
381 Chippendale Way, Chippendale, CA 92008
Phone: 760-438-8600, Cell: 760-438-0829
E-mail: kanakpdesign@gmail.com

CONSULTANT	DATE

Drawing Revisions Log		
No.	Date	Description

PROJECT DATE	DRAWN BY	CHECKED BY
07/24/2019	Author	Checker

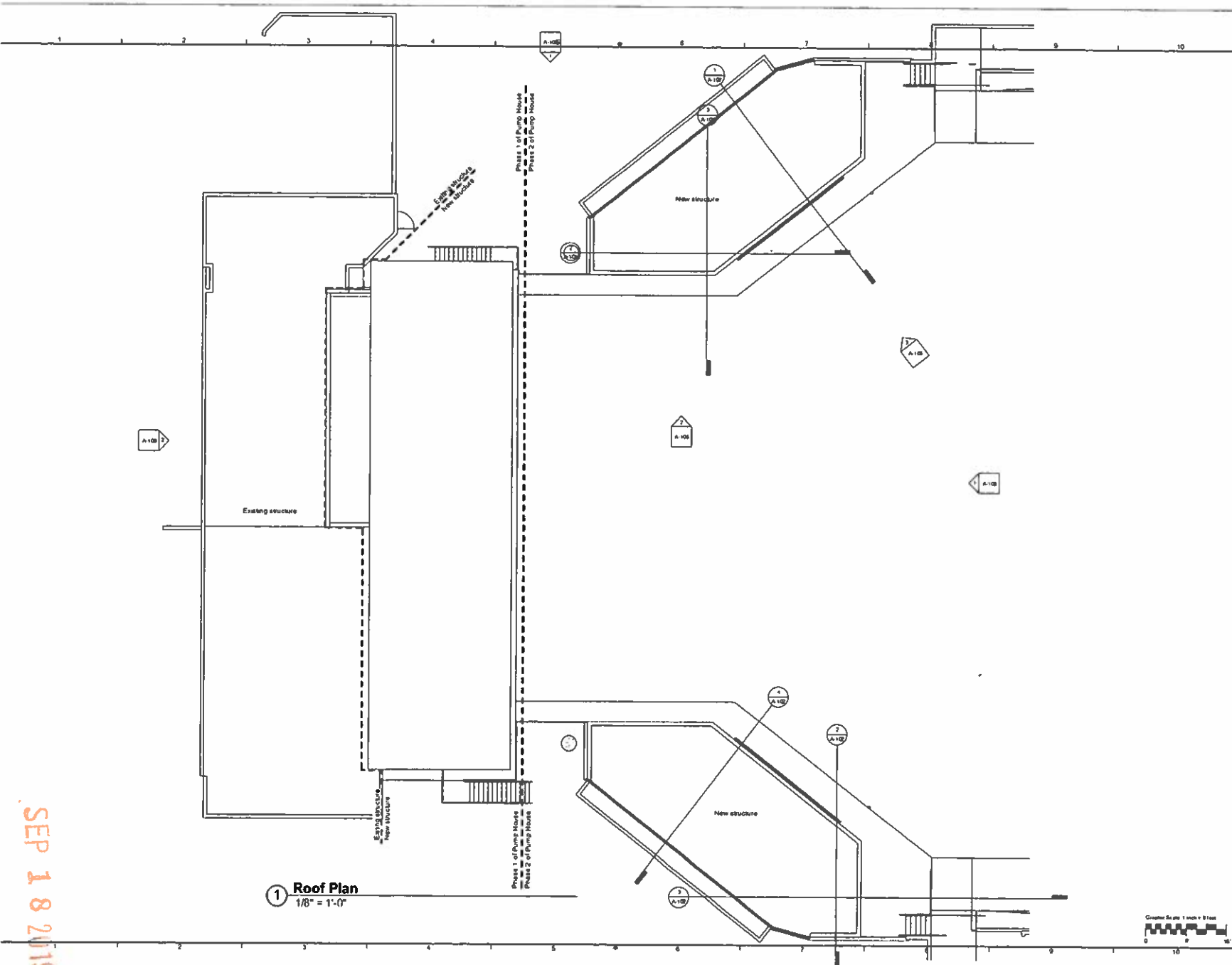
DRAWING TITLE
WAVE POOL & WING PUMP BUILDINGS

SHEET TITLE
BLD-G Roof Plan

DRAWING NUMBER
A-104

SCALE
1/8" = 1'-0"

NOT FOR CONSTRUCTION 02/20/19 11:08:21 AM



1 Roof Plan
1/8" = 1'-0"



SEP 18 2019

WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS

1500 S Gene Autry Trail
Palm Springs, CA 92264

CLIENT
POMO ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
Laguna Beach, CA 92651

NOTES

PLANNING & ARCHITECTURAL



Karnak Planning & Design
614 Cole Avenue, San Clemente, CA 92673
390 Chestnut Way, Carlsbad, CA 92008
Phone 760-431-8400, Cell 760-838-0842
© 1988 karnakplanning.com

CONSULTANT	DATE

REVISIONS		
NO.	DATE	DESCRIPTION

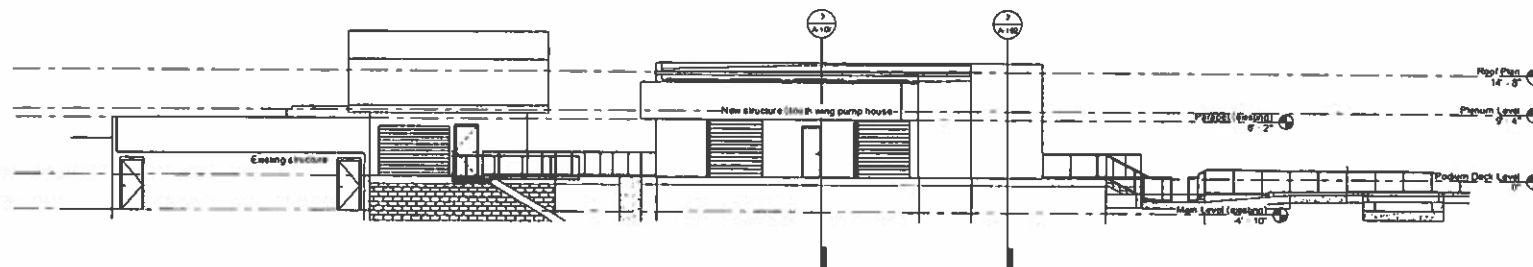
DATE	DESIGNER	CHECKER
07/24/2019		

DRAWING TITLE
WAVE POOL & WING PUMP BUILDINGS

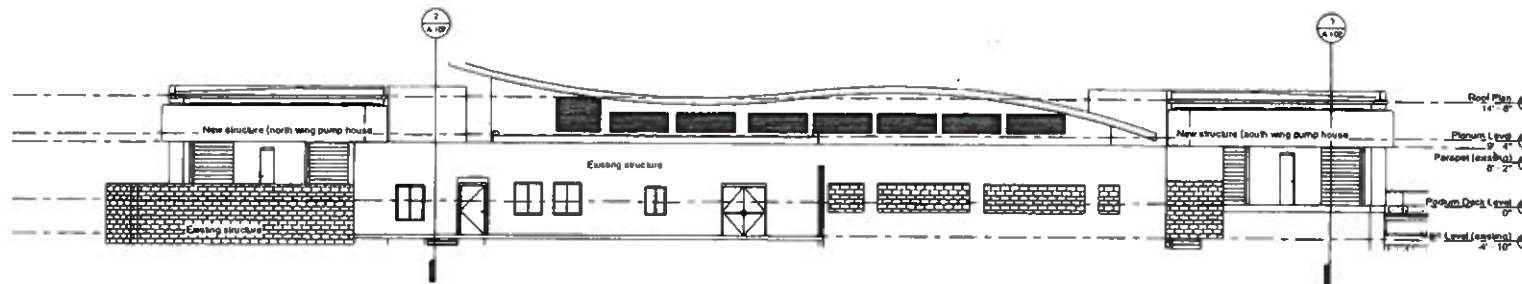
SHEET TITLE
BLD-G Exterior Elevations

DRAWING NUMBER		
SCALE	SIZE	REVISION
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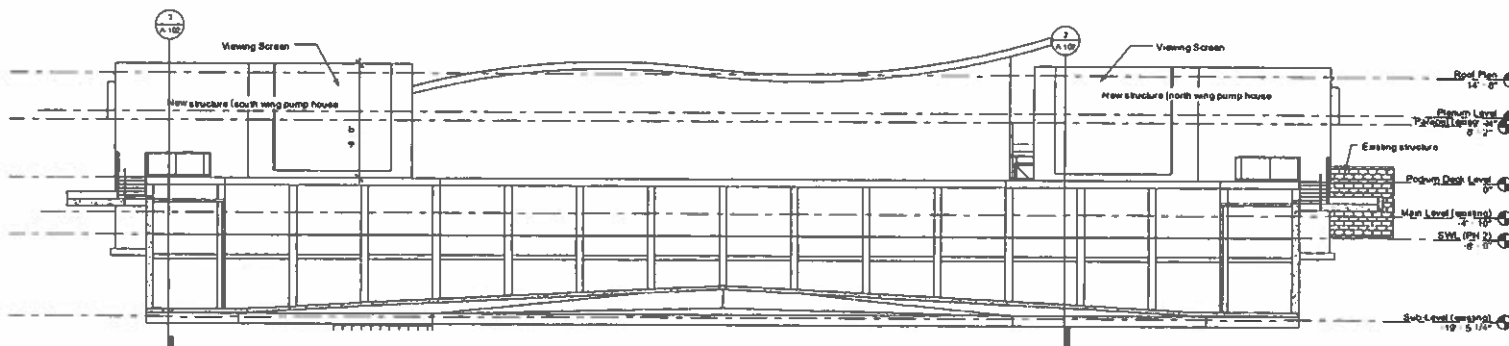
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③ South Phase 1
1/8" = 1'-0"

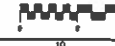


② West Phase 1
1/8" = 1'-0"



① East Phase 1
1/8" = 1'-0"

Graphic Scale 1 inch = 6 feet



SEP 1 2019



**WAVE POOL RENOVATION
PHASE 2
PALM SPRINGS**

1500 S. Gene Autry Trail
Palm Springs, CA 92264

Client
PONCO ACQUISITION PARTNERS 1, LLC
1348 Skyline Drive
Laguna Beach, CA 92651

NOTES

PLANNING ARCHITECTURE



Kamak Planning & Design
814 Cole Valley, # on Campus, CA 94717
181 Chestnut Way, Corona, CA 92626
Phone: 760-438-8408, Cell: 760-829-0832
E-mail: kplanning@comcast.net

CONTRACT	STAMP

DRAWING REVISION LOG		
No.	Date	Description

PRINT DATE	ISSUED	CREATED
07/24/2019	Author	Checker

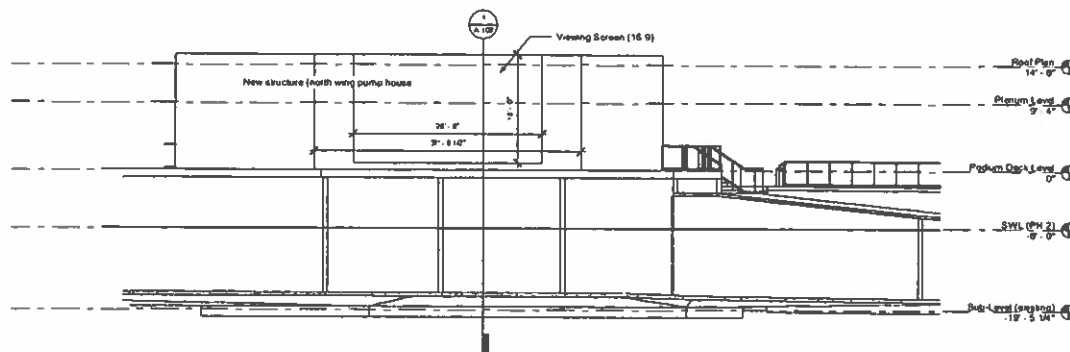
DRAWING TITLE
WAVE POOL & WING PUMP BUILDINGS

SHEET TITLE
OLD-G Exterior Elevations

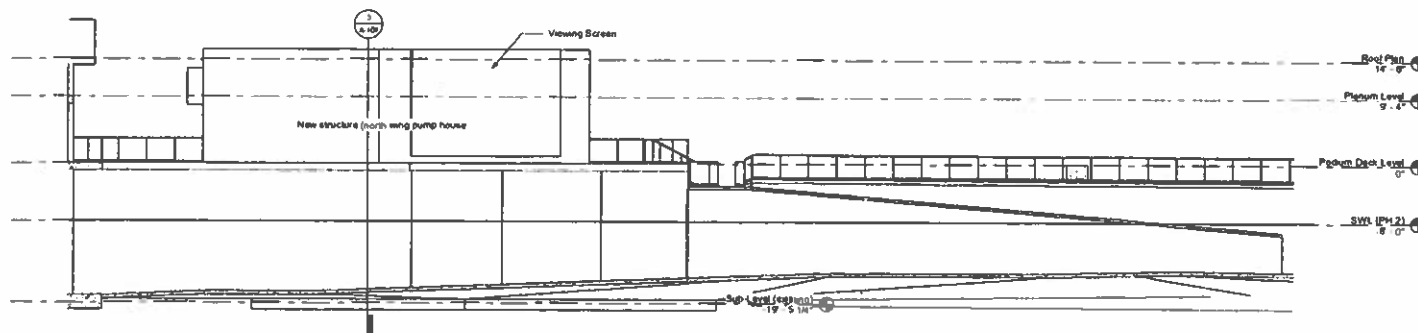
DRAWING NUMBER
A-106

SCALE 1/8" = 1'-0"
SIZE 24X36
REVISION Designer

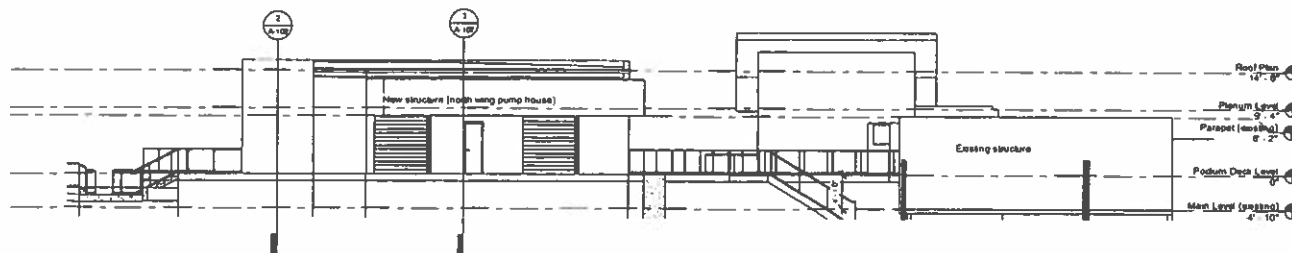
NOT FOR CONSTRUCTION 07/24/2019 11:09 AM



3 North/West Elevation (north wing pump house)
1/8" = 1'-0"

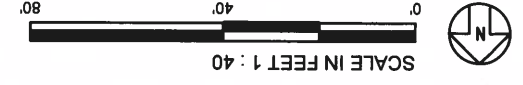


2 North Elevation (north wing pump house)
1/8" = 1'-0"



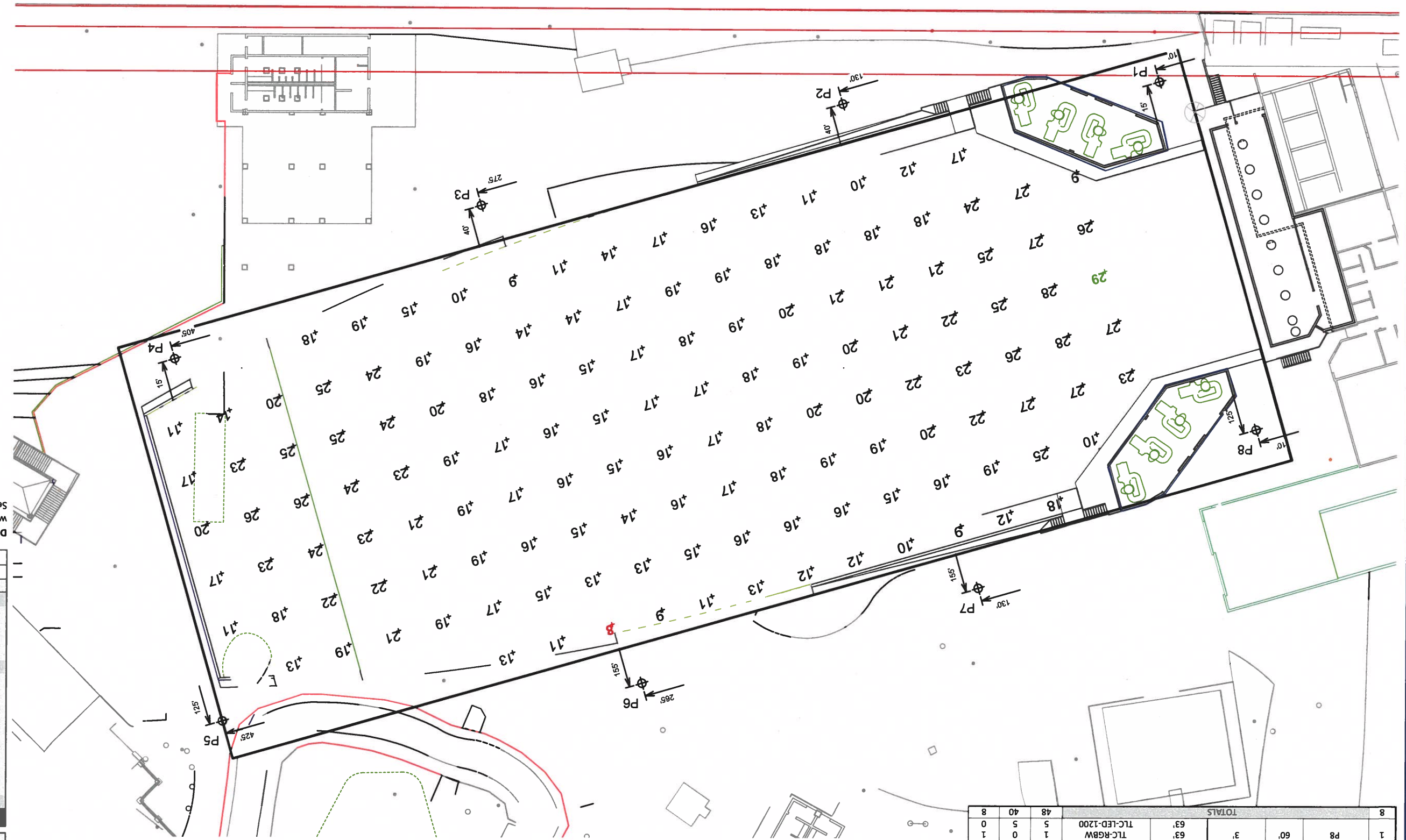
1 North Elevation
1/8" = 1'-0"

SEP 18 2019



SEP 18 2019

Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s)



EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	PQTY / THIS OTHER	POLE GRID	THIS GRID
3	P1, P4, P5	60"	-	60'	TLC-RGBW	1	48	8
5	P1, P4, P5	60"	-	60'	TLC-LED-1200	5	40	0
1	P7	70"	3'	70'	TLC-RGBW	1	0	1
5	P7	70"	3'	70'	TLC-LED-1200	5	0	1
3	P2, P3, P6	70"	-	70'	TLC-RGBW	1	0	1
5	P2, P3, P6	70"	-	70'	TLC-LED-1200	5	0	1
8	TOTALS						48	8

GRID SUMMARY

Name: Surf Pool
 Size: 425' x 165'
 Spacing: 20.0' x 20.0'
 Height: 3.0' above grade

ILLUMINATION SUMMARY (25% Dimming)

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid

Scan Average: 18.2
 Maximum: 29
 Minimum: 8.25
 Avg / Min: 2.22
 Max / Min: 3.54

UG (adjacent pts): 3.00
 CU: 0.75
 No. of Points: 138

LUMINAIRE INFORMATION

Color / CRI: 5700K - 75 CRI
 Luminaire Output: 34,000 lumens
 No. of Luminaires: 40
 Total Load: 11.7 kW (25% dimming)

Lumen Maintenance

Luminaire Type	190 hrs	180 hrs	170 hrs
TLC-LED-1200	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Dimming Summary: Values shown are estimated. Reducing wattage based on dimming can increase L90, L80, and L70 hours. See ILLUMINATION SUMMARY for complete analysis.

RECREATIONAL LIGHT LEVEL

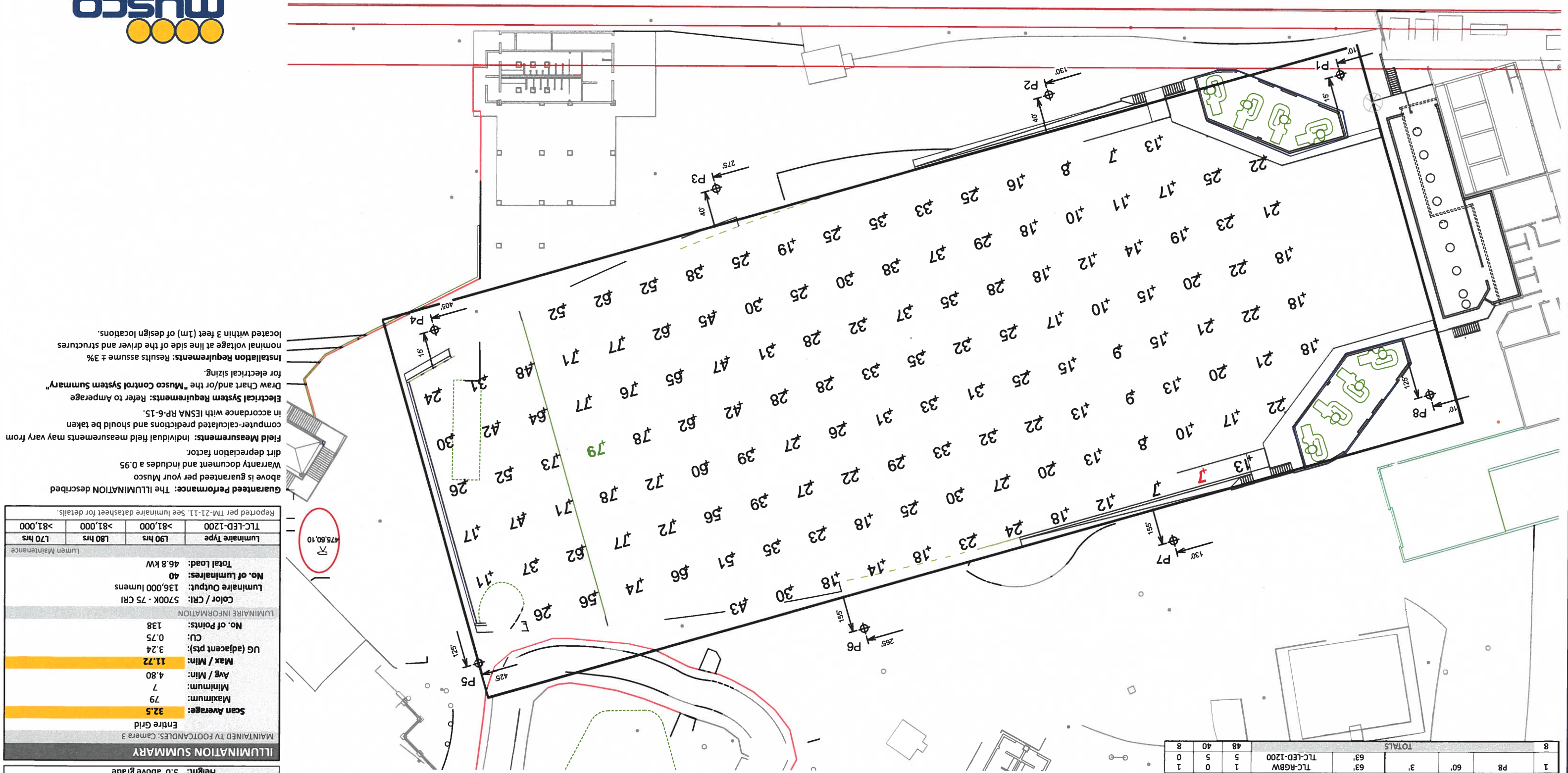
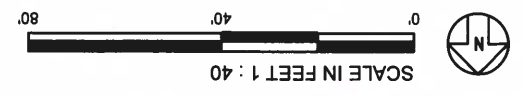
Palm Springs Surf Club
 Palm Springs, CA



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SEP 18 2019
 Pole location(s) dimensions are relative to 0,0 reference point(s)



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Reported per TM-21-11. See luminaire datasheet for details.

Luminaire Type	L80 hrs	L80 hrs	L70 hrs
TLC-LED-1200	>81,000	>81,000	>81,000

ILLUMINATION SUMMARY

Scan Average:	32.5
Maximum:	79
Minimum:	7
Avg / Min:	4.80
Max / Min:	11.72
UG (adjacent pts):	3.24
CU:	0.75
No. of Points:	138

LUMINAIRE INFORMATION

Color / CRI:	5700K - 75 CRI
Luminaire Output:	136,000 lumens
No. of Luminaires:	40
Total Load:	46.8 kW

MAINTAINED TV FOOTCANDLES: Camera 3

Entire Grid

GRID SUMMARY

Name:	Surf Pool
Size:	425' x 165'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

Palm Springs Surf Club
 Palm Springs, CA

POOL END CAMERA VERTICAL LIGHT LEVELS

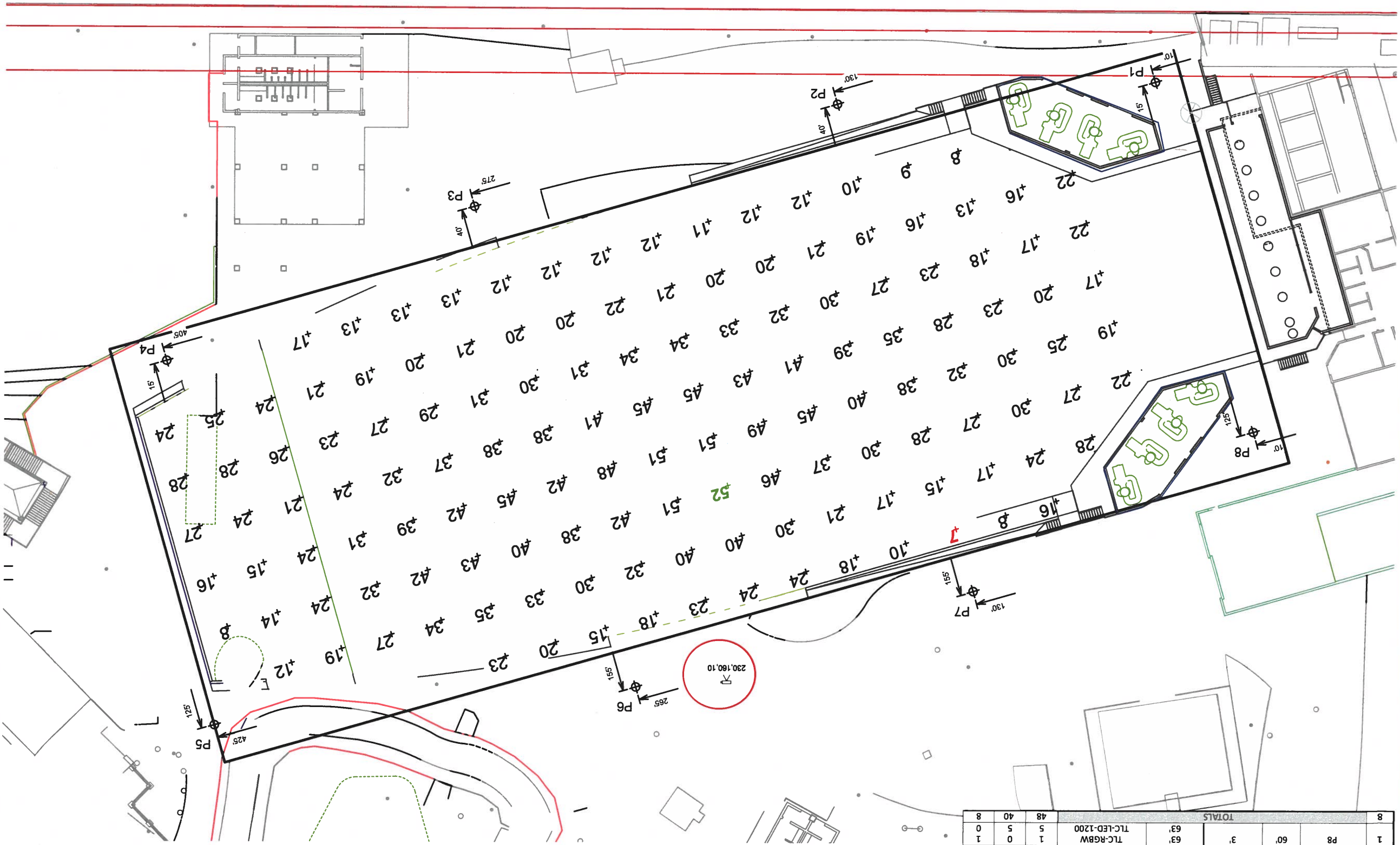
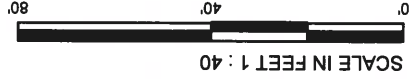
EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / THIS OTHER
3	P1, P4-P5	60"	-	60'	TLC-RGBW	1
5		5		5	TLC-LED-1200	5
1		1		1	TLC-RGBW	1
3	P2-P3, P6	70"	-	70'	TLC-RGBW	1
5		5		5	TLC-LED-1200	5
1		1		1	TLC-RGBW	1
1	P7	70"	3'	70'	TLC-RGBW	1
5		5		5	TLC-LED-1200	5
1		1		1	TLC-RGBW	1
1	P8	60"	3'	60'	TLC-RGBW	1
5		5		5	TLC-LED-1200	5
0		0		0		0
8		48		48		8

TOTALS



⊕ dimensions are relative to 0.0 reference point(s)
⊕ Pole location(s)



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Reported per TM-21-11. See luminaire datasheet for details.

Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-LED-1200	>81,000	>81,000	>81,000

LUMINAIRE INFORMATION

Scan Average:	26.6
Maximum:	52
Minimum:	7
Avg / Min:	3.84
Max / Min:	7.58
UG (adjacent pts):	2.15
CU:	0.75
No. of Points:	138
Color / CRI:	5700K - 75 CRI
Luminaire Output:	136,000 lumens
No. of luminaires:	40
Total Load:	46.8 kW

GRID SUMMARY

Name:	Surf Pool
Size:	425' x 165'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED TV FOOTCANDLES: Camera 1
Entire Grid

POOL NORTH TV VERTICAL LIGHT LEVELS

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / THIS OTHER
3	P1, P4-P5	60'	-	60'	TLC-RGBW	1
5					TLC-LED-1200	5
1					TLC-RGBW	1
3	P2-P3, P6	70'	-	70'	TLC-RGBW	1
5					TLC-LED-1200	5
1					TLC-RGBW	1
1	P7	70'	3'	70'	TLC-RGBW	1
5					TLC-LED-1200	5
1					TLC-RGBW	1
3	P8	60'	3'	60'	TLC-RGBW	1
5					TLC-LED-1200	5
0					TLC-RGBW	0
8	TOTALS					48



QTY	LOCATION	SIZE	ELEVATION	GRADE	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / THIS OTHER	POLE / GND
3	P1, P4-P5	60"	-	-	60'	TLC-RGBW	1	0
5						TLC-LED-1200	5	0
1						TLC-LED-1200	1	0
3	P2-P3, P6	70"	-	-	70'	TLC-RGBW	1	0
5						TLC-LED-1200	5	0
1						TLC-LED-1200	1	0
1	P7	70"	3'		73'	TLC-RGBW	1	0
5						TLC-LED-1200	5	0
1						TLC-LED-1200	1	0
5						TLC-LED-1200	5	0
1	P8	60"	3'		63'	TLC-RGBW	1	0
5						TLC-LED-1200	5	0
8	TOTALS						48	40

POOL SOUTH CAMERA TV VERTICAL LIGHT LEVELS

GRID SUMMARY	
Name:	Surf Pool
Size:	425' x 165'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED TV FOOTCANDLES: Camera 2	
Entire Grid	
Scan Average:	27.6
Maximum:	53
Minimum:	7
Avg / Min:	3.71
Max / Min:	7.09
UG (adjacent pts):	2.05
CU:	0.75
No. of Points:	138
LUMINAIRE INFORMATION	
Color / CRI:	5700K - 75 CRI
Luminaire Output:	136,000 lumens
No. of Luminaires:	40
Total Load:	46.8 kW
Lumen Maintenance	
TLC-LED-1200	190 hrs
>81,000	L80 hrs
>81,000	>81,000

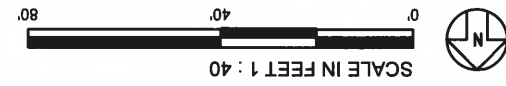
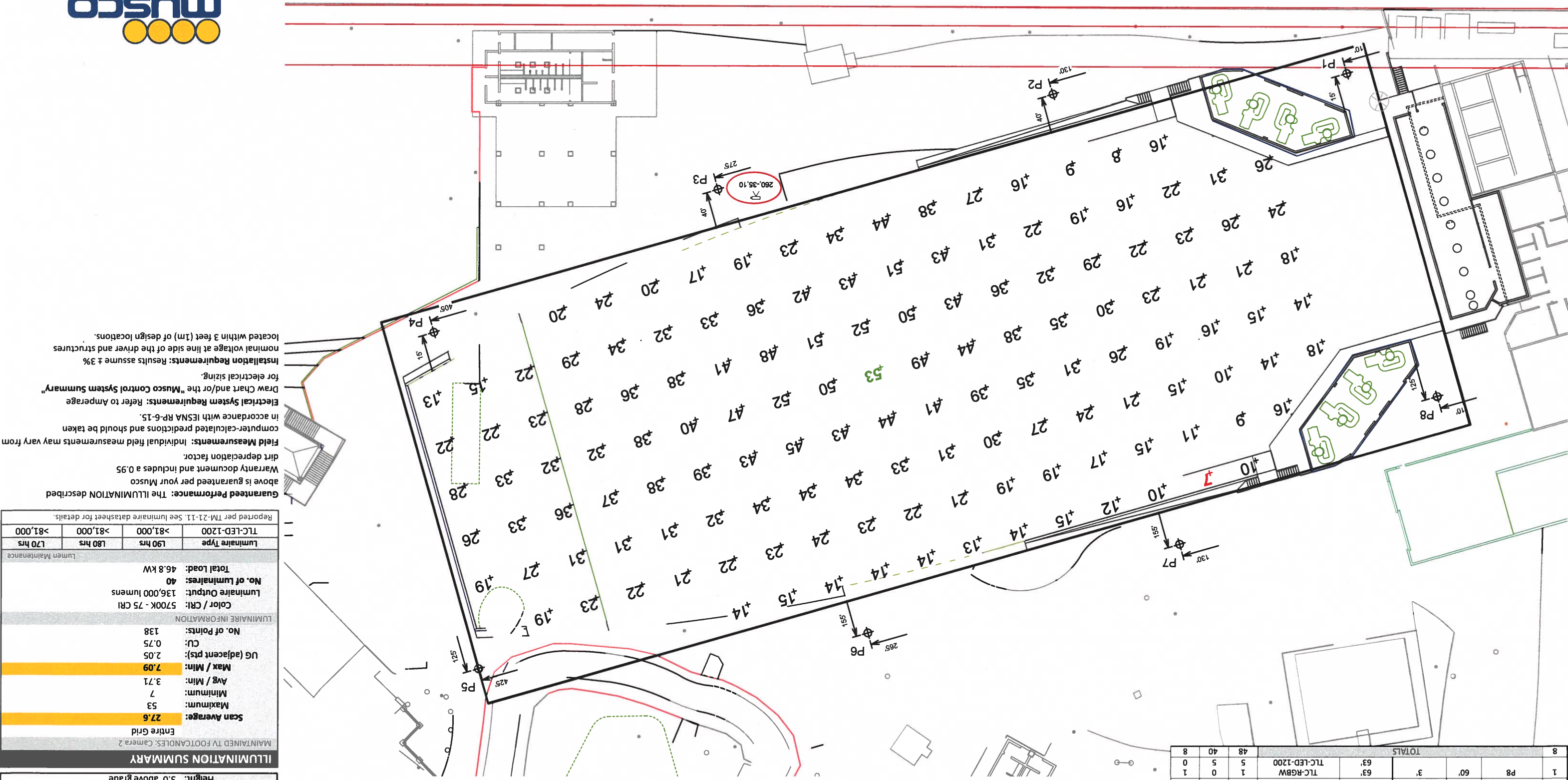
Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: Ryan A. Marsh, LC • File #197256C • 12-Sep-19

SEP 18 2019
 Pole location(s) Ⓧ dimensions are relative to 0,0 reference point(s)

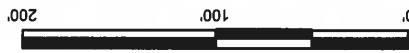
ILLUMINATION SUMMARY



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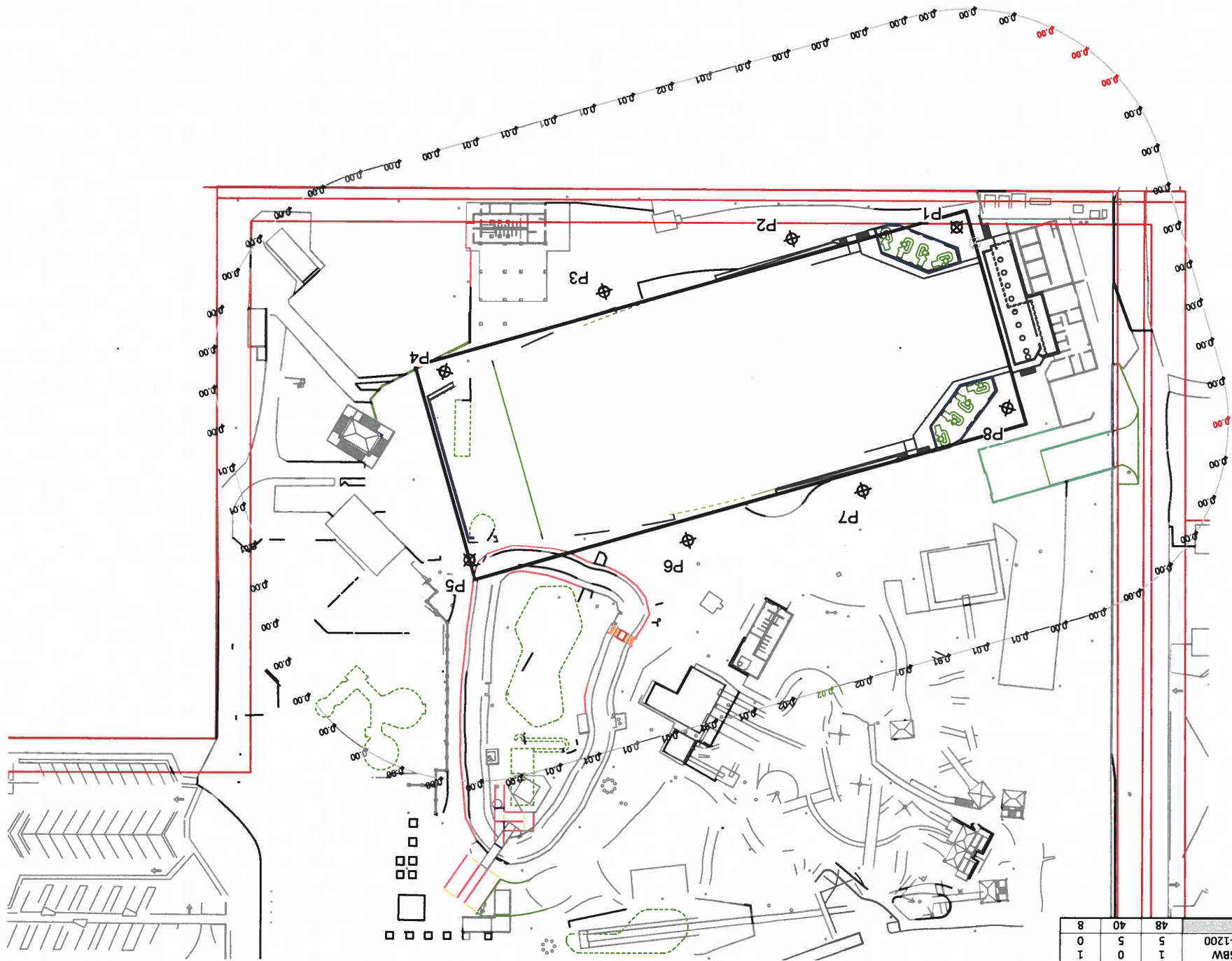
SCALE IN FEET 1 : 100



ENGINEERED DESIGN By: Ryan A. Marsh, LC • File #197256C • 12-Sep-19

SEP 18 2019

Pole location(s) ⊕ dimensions are relative to 0.0 reference point(s)



Pole		GRADE ELEVATION	SIZE	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/ THIS GRID	OTHER
3	P1, P4-P5	60'	60"	-	TLC-RGBW	1	0
5					TLC-LED-1200	5	0
1					TLC-RGBW	1	0
3	P2-P3, P6	70'	70"	-	TLC-RGBW	1	0
5					TLC-LED-1200	5	0
1					TLC-RGBW	1	0
1	P7	70'	70"	3'	TLC-RGBW	1	0
5					TLC-LED-1200	5	0
1					TLC-RGBW	1	0
1	P8	60'	60"	3'	TLC-RGBW	1	0
5					TLC-LED-1200	5	0
8					TLC-LED-1200	48	40
TOTALS							

GRID SUMMARY

Name: Surf Pool Spill
Spacing: 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

HORIZONTAL FOOTCANDLES

Entire Grid
Scan Average: 0.004
Maximum: 0.02
Minimum: 0.00
No. of Points: 71

LUMINAIRE INFORMATION

Color / CRI: 5700K - 75 CRI
Luminaire Output: 136,000 lumens
No. of Luminaires: 40
Total Load: 46.8 kW

Luminaire Type	190 hrs	180 hrs	170 hrs
TLC-LED-1200	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

IDA 150' HORIZONTAL FOOTCANDLES

Palm Springs Surf Club
Palm Springs, CA

EQUIPMENT LAYOUT

INCLUDES:
- Surf Pool

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

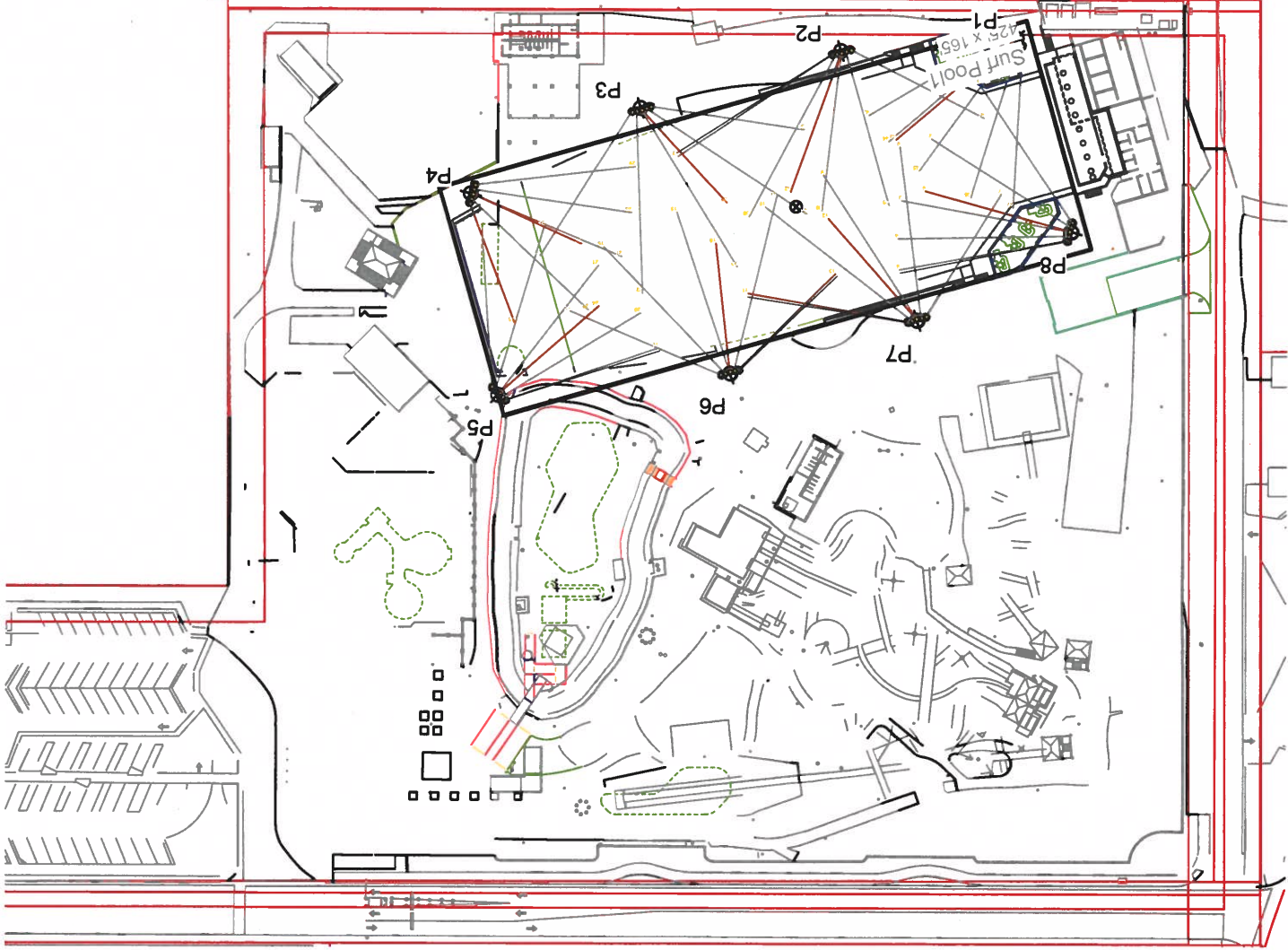
**EQUIPMENT LAYOUT
AIMING
FIXTURE
PATTERN**

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY
3	P1, P4-P5	60"	-	60'	TLC-RGBW	1
3	P2-P3, P6	70"	-	70'	TLC-RGBW	1
1	P7	70"	3'	73'	TLC-RGBW	1
1	P8	60"	3'	63'	TLC-RGBW	1
8	TOTALS					48

SINGLE LUMINAIRE AMPERAGE DRAW CHART

Ballast Specifications (50 min power factor)		Line Amperage Per Luminaire (max draw)	
Single Phase Voltage	(60)	(60)	(60)
208	220	240	277
380	347	380	480
TLC-LED-1200	7.0	6.6	6.1
TLC-RGBW	3.4	3.2	3.0

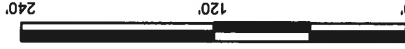


Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s)
SEP 18 2019





SCALE IN FEET 1 : 120

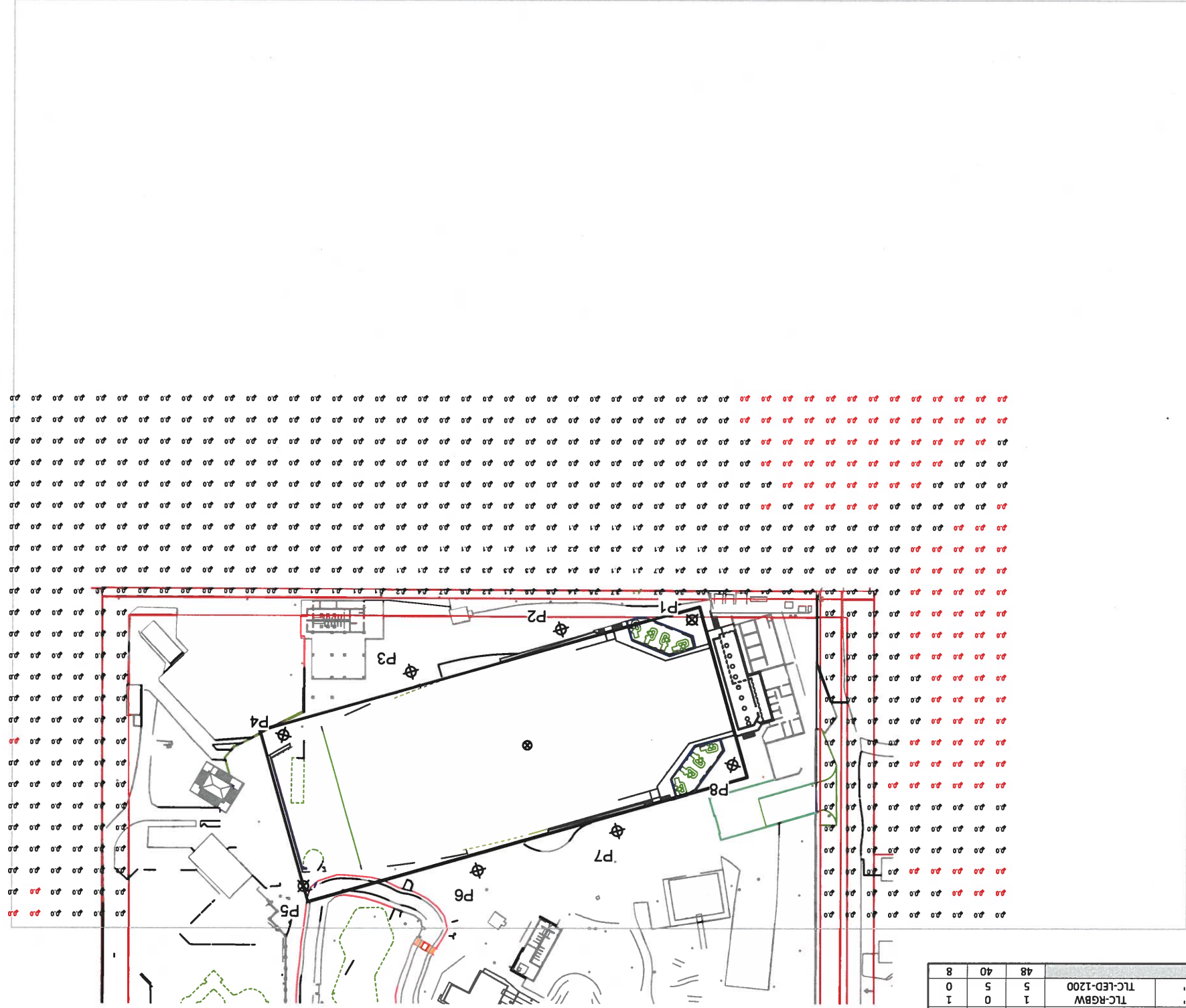


ENGINEERED DESIGN By: Ryan A. Marsh, LC • File #197256C • 16-Sep-19

SEP 18 2019

⊕ dimensions are relative to 0.0 reference point(s)

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Pole		GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / THIS GRID	OTHER GRIDS
QTY	LOCATION	SIZE	HEIGHT	LUMINAIRE TYPE	QTY / THIS GRID	OTHER GRIDS
3	P1, P4-P5	60'	-	TLC-RGBW	1	0
3	P2-P3, P6	70'	-	TLC-RGBW	1	0
1	P7	70'	3'	TLC-RGBW	1	0
1	P8	60'	3'	TLC-RGBW	1	0
TOTALS						
8				TLC-LED-1200	5	48
1				TLC-RGBW	1	40
0					5	8

HORIZONTAL SPILL VALUES BLANKET GRID. 20' SPACING - POINT TO POINT

GRID SUMMARY

Name: Blanket Spill
Spacing: 20.0' x 20.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES			
Scan Average:	0.1	Maximum:	4
Minimum:	0	Avg / Min:	-
Max / Min:	-	UG (adjacent pts):	59.97
No. of Points:	695	CU:	0.94
LUMINAIRE INFORMATION			
Color / CRI:	5700K - 75 CRI	Luminaire Output:	136,000 lumens
No. of Luminaires:	40	Total Load:	46.8 kW
Lumen Maintenance			
Luminaire Type	L90 hrs	L80 hrs	L70 hrs
TLC-LED-1200	>81,000	>81,000	>81,000

Reported per TM-21-11. See luminaire datasheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15. Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing. Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Palm Springs Surf Club
Palm Springs, CA

CONSULTANTS DIRECTORY

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 Contact: Robert Richardson
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 cell: 760-828-0653

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 Cathedral City, CA 92234
 Contact: William A. Aguirre, P.E.
 waguirre@arch-eng-consultants.com
 cell: 951-204-1013

STRUCTURAL ENGINEER
 Sun Structural Engineering Inc.
 2091 Las Palmas Drive, Suite D
 Carlsbad, CA 92011
 p (760) 438-1188
 f (760) 438-1189
 contact: Changhua Sun
 sunengineering@stbcglobal.net

LANDSCAPE ARCHITECT
 David Miretschin
 Landscape Architect
 DMLA
 34032 Alcazar Drive
 Dana Point, CA 92629
 Contact: David Miretschin
 david@dmlaonline.com
 phone/fax: 949-388-3369

AQUATIC DESIGNER
 SurfLock wave systems
 Contact: Thomas J. Lochtefeld
 9747 Olson Dr.
 San Diego, CA 92121
 tom.lochtefeld@surflock.com
 p 858-228-9333

INTERIOR DESIGNER
 Gracia Studio
 4492 Camino de la Plaza, Suite 281
 San Ysidro, CA. 92173
 p 619 795 7864
 Contact: Benjamin Huerta
 bhuerta@graciastudio.com

DESIGN/BUILD CONTRACTOR
 Eilar Associates, Inc.
 Acoustical & Environmental Consulting
 210 S. Juniper Street, Suite 100
 Escondido, CA 92025
 Contact:
 www.eilarassociates.com
 p 760-738-5570
 f 760-738-5227

ACOUSTIC ENGINEER
 Eilar Associates, Inc.
 Acoustical & Environmental Consulting
 210 S. Juniper Street, Suite 100
 Escondido, CA 92025
 Contact:
 www.eilarassociates.com
 p 760-738-5570
 f 760-738-5227

PARK MANAGEMENT
 VenuBlue
 2800 Post Oak Blvd STE 4100
 Houston, TX, 77056
 Contact: Danny W. Broussard
 danny@venublue.com
 cell 409-284-3473

VIDEO / SOUND ENGINEER
 Sweet Southern Sound
 PO Box 5854 Beaumont
 Texas 77726
 Office: 409-242-0422
 contact: Matt Carter
 matt@sweetsouthern.com

LIGHTING ENGINEER
 Musco Lighting
 Musco Sports Lighting, LLC.
 contact:
 www.musco.com

LEGAL DESCRIPTION

A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 5 EAST, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON THAT MAP ENTITLED RECORD OF SURVEY FILED FOR RECORD ON MARCH 11, 1986, IN BOOK 75 PAGE 68 OF RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 20 AS SHOWN ON SAID RECORD OF SURVEY; THENCE ALONG THE WEST SECTION LINE OF SAID SECTION 20 NORTH 00° 12' 40" WEST 1314.05 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID WEST SECTION LINE OF SAID SECTION 20 SOUTH 89° 54' 07" EAST 2593.54 FEET TO A POINT ON A LINE THAT IS PARALLEL WITH AND 44.00 FEET WEST OF THE CENTER SECTION LINE OF SAID SECTION 20; THENCE ALONG SAID PARALLEL LINE SOUTH 00° 12' 25" EAST 247.74 FEET; THENCE LEAVING SAID PARALLEL LINE NORTH 89° 54' 07" WEST 1874.13 FEET; THENCE SOUTH 00° 12' 37" EAST 409.99 FEET; THENCE NORTH 89° 50' 46" WEST 719.37 FEET TO THE WEST SECTION LINE OF SAID SECTION LINE OF SAID SECTION 20; THENCE ALONG THE WEST SECTION LINE OF SAID SECTION 20 NORTH 00° 12' 40" WEST 657.02 FEET TO THE TRUE POINT OF BEGINNING.

The land described in this map of survey is the same property as that described in First American Title Insurance Company Commitment No. NCS-770954CA3-0RL with an effective date of Feb. 24, 2017.



1500 S. Gene Autry Trail
 Palm Springs, CA 92264

PROJECT INFORMATION

Project: THE PALM SPRINGS SURF CLUB

Owner: Pone Acquisition Partners 1, LLC
 1348 Skyline Drive
 Laguna Beach, CA 92651
 Founder/Development Affairs
 Contact: Eric Munoz
 381 Christiansen Way
 Carlsbad, CA 92008
 760-224-8160
 eric@pacificoceanart.com

Applicant/Owners Agent: Karnak Planning & Design
 381 Christiansen Way
 Carlsbad, CA 92008
 614 Calle Vicente
 San Clemente, Ca 92673
 Contact: Robert Richardson
 760-828-0653
 karnakdesign@gmail.com

Address: 1500 S. Gene Autry Trail, Palm Springs, CA 92264

APN: 680-180-029-4

Total Lot size: 937,166 sq.ft., 21.51 Acres

Zoning Data:
 Zone = M1, Service/Manufacturing, PD 168 Planned Development Overlay; N, Noise Overlay

SetBack:
 Front = 25'
 Side = 25'
 Rear = 25'
 Height = 40'
 Bulk = NONE
 Min. Lot Area = 20,000 SQ.FT.
 Max. Coverage = 60%

All site restrictions were obtained per a zoning report provided by commercial diligence services dated May 14, 2015 as JOB# 15-04-00498.

The zoning jurisdiction for the subject property is the City of Palm Springs, CA

All buildings comply with zoning with zoning codes per zoning letter issued by the Planning and Zoning Resource Company dated March 7, 2017 as site # 100184-16

Sewer & Water:

School District:

Occupancy: A-2, A-5, B

Fire Sprinklers: BLDG A - No, BLDG B - No, BLDG C - No, BLDG D - No, BLDG E - Yes, BLDG F - No, BLDG G - No

Construction: VB, Sprinkled & Nonsprinkled

PARKING ANALYSIS

Original Parking Requirements	Participants	Required Spaces	
Per Largest attendance 1200-1500 Day	1500 people / 3 = 500 spaces	500	
Staff Parking 1 per employee		150	
Total required		650	Spaces
Proposed Parking	Employees	Required Spaces	
Regular Spaces	140	140	Spaces
ADA Accessible Spaces		16	Spaces
Total Provided		777	Spaces
Excess parking		127	Spaces

Note:
 The park had the appearance of over parking but in fact many participant park out in the front public street to save parking fees thus giving the illusion that the parking lot of full.

Proposed Parking	Employees	Required Spaces	
Staff Parking (see schedule)	140	140	
Attendees 1 space per 3 attendees	1300	433	
Restaurant 1:35 sq. ft. At least 50% of the users will be water park/Wave Pool users	6892	197	sq. ft.
		-98	
Total required		672	

Total Parking Provided	Regular Spaces	ADA Accessible Spaces	Total Provided	Excess parking	Spaces
	761	16	777	105	Spaces

BUILDING SUMMARY

Building	Existing Size	Additional sq.ft.	To be removed	Net Change
Building A Restrooms pumps for slides	1259 sq.ft.	0	0	0
Building B Restrooms Food/Beverage Snack Bar	1647 sq.ft.	571	1647	-1076
Building C Pump Building	474 sq.ft.	0	474	-474
Building D Restrooms	1462 sq.ft.	0	0	0
Building E Restrooms Food/Beverage Snack Bar	212 sq.ft.	0	212	-212
Building F Offices, Kitchen, retail, Food/beverage Lockers, Main entrance	17902 sq.ft.	7311	0	7311
Building G Pump Building	461 sq.ft.	0	461	-461
Building H Pump building Phase pump wings	6098 sq.ft.	2658	0	2658
Existing Buildings	29515 sq.ft.			
Additional sq.ft.		10540	2794	7746
Building to be removed			2794	sq.ft.
Net increase in building square footage				26%
Percent increase				

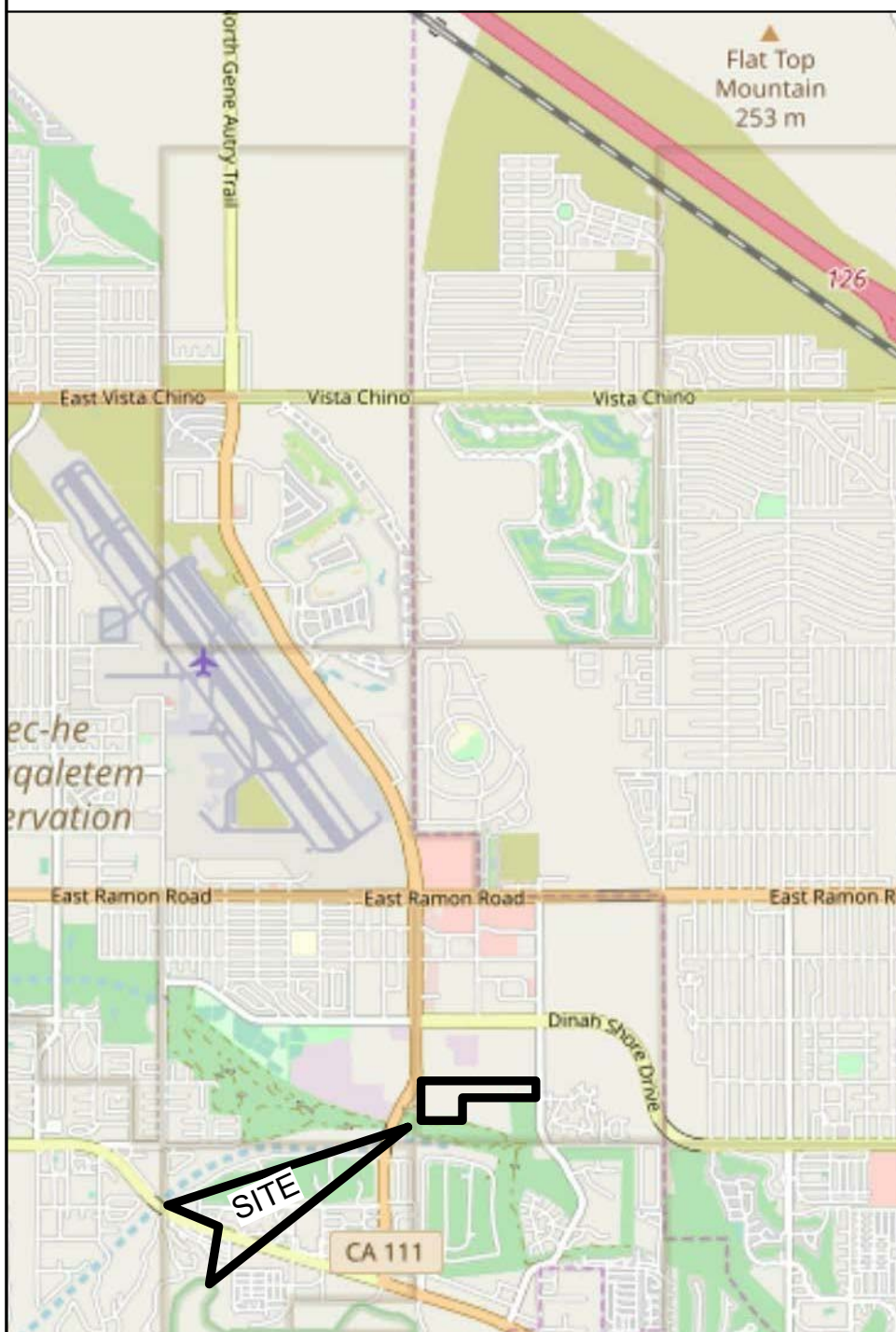
SHEET INDEX

SHT. NO.	SHEET NAME
COVER	Project Info & General Notes
G-01	City Comments
-	ARCHITECTURE
A-01	Aerial Block Site View
A-02	Main Park Area Site Plan
A-03	Main Park Area Renovation Site Plan Phase 1
A-04	Main Park Area Site Sections Phase 1
A-05	Main Park Area Site Sections Phase 1
A-024	Wave Pool Building H Site Plan Phase 1
A-025	Lazy River Site Plan Phase 1
A-026	Sunset Grill Phase 1
A-027	Entry, Offices, Kitchen, Changing Phase1
A-028	Childrens Play Area Plan Phase 1
A-201	BLD-B - Floor plan Phase 1
A-202	BLD-B - Exterior Elevations Phase 1
A-320	BLD-D - Floor & Roof Plans Phase 1
A-321	BLD-D - Exterior Elevations Phase 1
A-420	BLD-E - Overall Floor & Roof Plan Phase1
A-421	BLD-E - VIP Area Floor Plan Phase 1
A-422	BLD-E - Entry Area Floor Plan Phase 1
A-423	BLD-E - Changing/Offices /Retail Phase 1
A-424	BLD-E - Exterior Elevations Phase 1
A-425	BLD-E - Exterior Elevations Phase 1
A-426	BLD-E - Exterior Elevations Phase 1
A-501	BLD-G - Podium Deck Level Plan
A-502	BLD-G - Exterior Elevations
A-503	BLD-G - Exterior Elevations
A-504	BLD-G - 3D Full Model View
A-601	BLD-H - Floor /Roof Plans Phase 1
A-602	BLD-H - Exterior Elevations Phase 1
-	LANDSCAPE
L-1.0	Main Park Plan Landscape Phase 1
L-1.1	Parking Lots Landscape Phase 1
L-2.0	Main Park Plan Planting Palette Phase 1
L-3.0	Entry Moutment Landscape Phase 1
L-3.1	Entry Drive Landscape Phase 1
L-3.2	Club House Entry Landscape Phase 1
L-3.3	Picnic Areas Landscape Phase 1
L-3.4	Hilltop Landscape Phase 1
L-3.5	Euc. Understory Landscape Phase 1
L-3.6	Faux Stone Slope Landscape Phase 1
L-4.0	Main Park Plan Shading Phase 1
L-4.1	Main Park Plan Landscape Phase 1

DESIGN CODE

The 2016 edition of California Code of Regulations Title 24 includes:
 Part 1, 2016 California Building Standards Administrative Code;
 Part 2, Volume 1 and 2, 2016 California Building Code
 Part 3, 2016 California Electrical Code
 Part 4, 2016 California Mechanical Code
 Part 5, 2016 California Plumbing Code
 Part 6, 2016 California Energy Code;
 Part 8, 2016 California Historical Building Code
 Part 9, 2016 California Fire Code
 Part 10, 2016 California Existing Building Code
 Part 11, 2016 California Green Building Standards Code
 Part 12, 2016 California Reference Standards Code
 Local Municipal Codes

VICINITY MAP



PROJECT DESCRIPTION

The Palm Springs Surf Club (PSSC)
PSSC PROJECT DESCRIPTION
Existing Conditions (not a part of this Amendment request)
 1. Overall infrastructure of the Wet n Wild water park remains in place subject to PSSC upgrades/rehabilitation, ADA compliance, health and safety upgrades, more shade, etc
 2. Modification of existing wave pool pump house building under current permit approved by city
 3. Certain slides and other water park features removed from the park per prior city review and approval
 4. Selected demolition activities also per current permit approved by city
Proposed Project Elements (see attached Project Exhibits)
 1. Two new wave pool pump house buildings; noise output to be compliant with city noise policy criteria
 2. Reconfiguration of existing wave pool to facilitate new enhanced surfing wave
 3. Selected removal of water park features and/or demolitions
 4. Replacement of cabanas on south side of reconfigured wave pool with food/beverage station and service
 5. New Kid Pool and family area in location of existing Red slide to be removed
 6. Lazy River Island modifications to remove existing structure; add pool element; add food/beverage station and service
 7. Tenant Improvements to existing structure for admin space, fitness center, yoga, upgrade the existing kitchen, restaurant, lounge, ADA compliant restrooms, check-in functions, retail space, and related ancillary space.
 8. Add new emergency vehicle access driveway and corresponding new access o the west side of the property
 9. Replace existing onsite pole lighting with modern downward illuminating pole lighting for nighttime use of the wave pool
 10. Passive area for picnic space with ability to mobilize temporary stage elements for community/onsite events similar to prior Wet n Wild operations
 11. Emergency Action Plan to be developed by PSSC in combo with city, Police, Fire input

PSSC OPERATIONAL OVERVIEW

Wave Pool: caters to wide range of surfing skill levels from pro/expert to beginner; public use and exclusive private party options; staffed by certified lifeguards; Public Use and Private Bookings; Supporting Uses: fitness center, yoga, sauna, surf rentals, shaping services, pro shop, restaurant/lounge, retail store, community/onsite event space; Operations: Year Round
Water Park: caters to non-surfing visitors; water slides; Lazy River; pool area; family area; food/beverage stations and service; Public Use; Supporting Uses: food/beverage service and retail store. Operations: Seasonal - based on Demand

PSSC PROJECT INFO

Reason for Request
 1. Wet n Wild water park is outdated and losing energy as a vibrant business/recreational attraction in the city; certain areas unsafe and unhealthy for continued public use
 2. Improvements and park enhancements centered around modern high performance surfing wave
 3. New artificial wave pool will also accommodate beginning skill levels of surf park visitors
 4. Range of park non-surfing park visitors accommodated via upgrades to water park features onsite
 5. Increased quality and variety of food and beverage options
 6. Increased public safety and improved visitor experience
Special Circumstances
 1. Current water park is 'run down'
 2. Proposed project will assist with tourist/visitor attraction to the city as well as local amenity for citizens with related economic benefits to area restaurants, hotels, Chamber of Commerce members, other tourist attractions, etc
 3. PSSC will benefit from close proximity to the Palm Springs International Airport
 4. Wave Pool and Restaurant to be open year round vs historic/seasonal operations of the Wet n Wild water park
 5. PSSC to provide benefit and venue for area schools, community groups, non-profit organizations, and other stakeholders
 6. Adequate parking onsite
 7. Project elements will be modern, clean, safe and state of the art
 8. Diversity of targeted park users from pro/expert surfers to non-surfing children and visitors seeking water-based recreation
No Impact to Adjacent Properties
 1. Adjacent land uses include public roadways, water district property/use, city golf course, self storage facility, mostly vacant Agua Caliente tribal land, and existing sign shop operation
 2. No adjacent residential or sensitive land uses: same property location as the Wet n Wild water park
 3. Nearest residential area to the south is over 1000 feet across the city golf course and over 2000 feet to the east across Crossley Road

CLIENT:

PONO ACQUISITION PARTNERS 1, LLC
 1348 Skyline Drive
 Laguna Beach, CA 92651

PROJECT:

THE PALM SPRINGS SURF CLUB
 1500 S. Gene Autry Trail
 Palm Springs, CA 92264

SHEET TITLE:

Project Info & General Notes
 Project number: 20190118_du
 Date: 10/14/2019
COVER
 Scale:

